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Interior Designers
CDM Services

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Stoke Gifford, Bristol BS34 8SR
+44 (0)117 931 2062
www.kendallkingscott.co.uk

Project
Hillbourne Masterplan
Residential Development
Client
Poole Housing Partnership

Scale 1:1000 Paper Size ISO A2 Filename 190090 MASTER PLANS.vwx
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P10 12/04/2021 LB HR Planning Issue
Rev Date By Ap Note

Drawing Title
Site Location Plan

Project Number Drawing Number Revision
190090 1100 P10

Date 12/04/21 Drawn HR Checked LB Purpose/Status PLANNING

Check all dimensions and levels on site

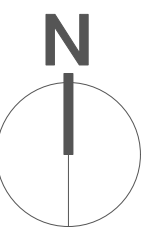
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KEY

- Permeable block paving (public areas)
- Permeable block paving (parking areas)
- Paving slabs (private paths and patios)
- Pedestrian tarmac (pavement & alleyways)
- Vehicular tarmac (roads)
- Public realm planting (shrub & hedge planting)
- Apartment gardens (planting and lawn)
- Private amenity / garden
- Wild Flower Meadow
- Brick Wall (to boundaries facing public areas)
- Low retaining wall
- Timber fence
- Garden shed / bike store
- Waste & recycling bins

See landscape drawings for details of hard and soft landscaping



0 25 50 75 100 M



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Residential Development

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Scale: 1:500 ISO A1
Filename: 190090 MASTER PLANS PLANNING UPDATE.dwg
Date: 12/04/21
Drawn: HR
Checked: LB

Check all dimensions and levels on site

P11 08/12/2021 HR LB Plots 1-3 moved to provide storm water alley, trees added to rear of plots 59 & 60. Reptile receptor site shown

P10 12/04/2021 HR LB Storm Water Alley added, plots 1-3 moved

P10 12/04/2021 HR LB Planning Issue

Rev Date By Ap Note

Drawing Title
Proposed Site Masterplan

Project Number Drawing Number Revision
190090 1400 P11

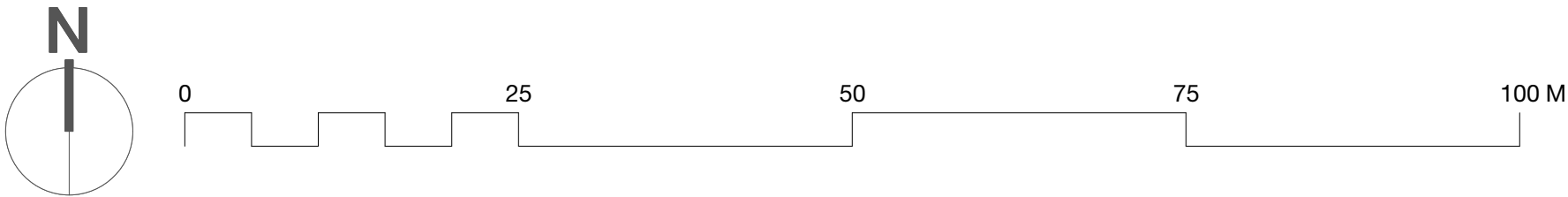
Purpose/Status
PLANNING





KEY

	Clay Roof Tile
	Grey Roof Tile
	Red Brick (Light Multiblend)
	Red Brick (Dark Multiblend)
	Red Brick (Light Multiblend) & Red Brick (Dark Multiblend)



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Scale
1:500
Paper Size
ISO A1
Filename
190090 MASTER PLANS PLANNING UPDATE.vdw
Date
12/04/21
Drawing Title
Proposed Materials Plan

P11 09/12/2021 LB HR Plots 1-3 moved south to accommodate stormwater alley

P10 12/04/2021 LB HR Planning Issue

Rev Date By Ap Note

Drawing Title

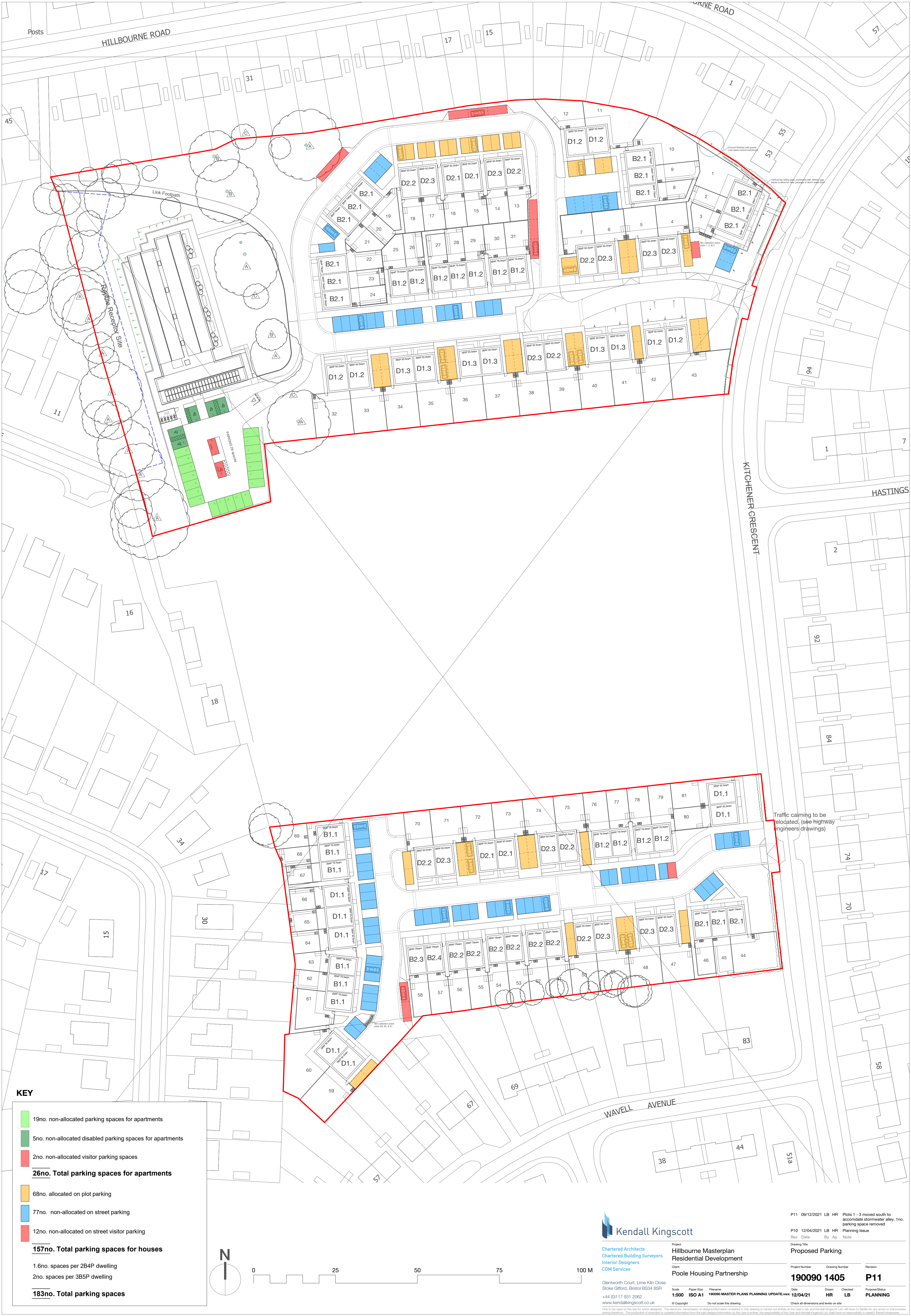
Project Number Drawing Number Revision

190090 1404 P11

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KEY

- 19no. non-allocated parking spaces for apartments
- 5no. non-allocated disabled parking spaces for apartments
- 2no. non-allocated visitor parking spaces
- 26no. Total parking spaces for apartments**
- 68no. allocated on plot parking
- 77no. non-allocated on street parking
- 12no. non-allocated on street visitor parking
- 157no. Total parking spaces for houses**
- 1.6no. spaces per 2B4P dwelling
- 2no. spaces per 3B5P dwelling
- 183no. Total parking spaces**

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Date: 12/04/21
Drawn: HR
Checked: LB
Purpose/Status: PLANNING

P11 09/12/2021 LB HR Plots 1 - 3 moved south to accommodate stormwater alley, 1no. parking space removed

P10 12/04/2021 LB HR Planning Issue

Rev Date By Ap Note

Drawing Title
Proposed Parking

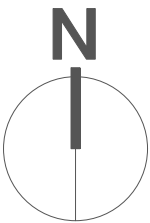
Project Number
190090 1405

Revision
P11



KEY

- 1.8m high privacy close boarded timber fence to site boundaries. Existing boundary fences to be retained, repaired or replaced where required.
- 1.8m high privacy close boarded timber fence
- 1.5m high close boarded timber fence topped with 300mm trellis
- Retaining wall with 1.5m high close boarded timber fence topped with 300mm trellis
- 1.8m high privacy brick wall
- 1.8m high metal railings
- 1.1m high metal railings
- Retaining wall



0 25 50 75 100 M



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Date: 12/04/21
Drawn: HR
Checked: LB
Purpose/Status: PLANNING

P11 09/12/2021 LB HR Boundaries to plots 1-3 updated following alteration to plot layouts. Brick walls over stormwater easement changed to timber fence

P10 12/04/2021 LB HR Planning Issue
Rev Date By Ap Note

Drawing Title
Proposed Boundary Treatment

Project Number Drawing Number Revision
190090 1407 P11

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Retained Trees

Tree to be removed

Trees / vegetation to be either pruned or removed where necessary

Surveyed tree outside of residential development boundary

Category A - Trees of high quality

Category B - Trees of moderate quality

Category C - Trees of low quality

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ISO A1

Plan Name

190090 MASTER PLANS PLANNING UPDATE

12/04/21

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P11

09/12/2021

LB

HR

Plots 1-3 moved south to accommodate stormwater alley

P10

12/04/2021

LB

HR

Planning Issue

Rev

Date

By

Ap

Note

Drawing Title

Tree Retention / Removal Plan

Project Number

190090 1403

Drawing Number

P11

Revision

Drawn

HR

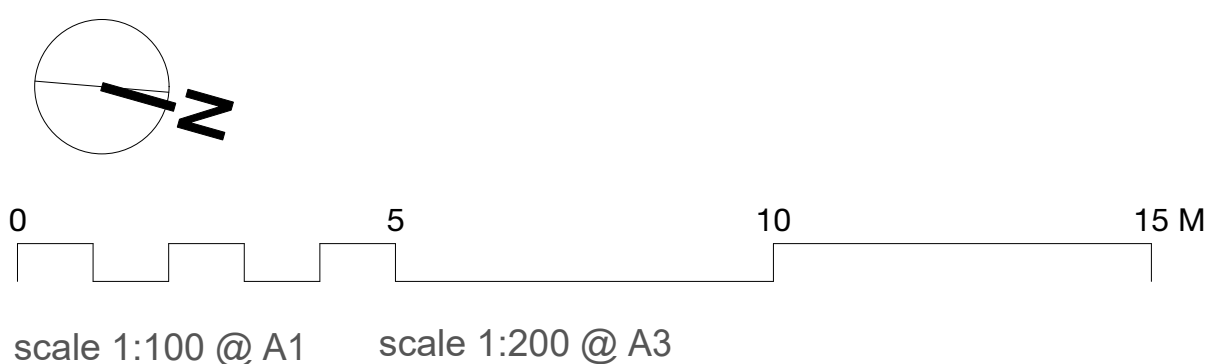
Checked

LB

Purpose/Status

PLANNING





ACCOMMODATION:

GROUND FLOOR:

2 PERSON 1 BED FLAT, 56 sqm - 6 No
2 PERSON 1 BED FLAT, 57.8 sqm - 1 No
TOTAL - 7 FLATS

OFFICE, 13sqm
KITCHEN,
COMMUNITY ROOM, 61sqm
STORAGE
PLANT
REFUSE, 28sqm
BUGGY STORE, 32sqm

FIRST FLOOR:

2 PERSON 1 BED FLAT, 56 sqm - 9 No
2 PERSON 1 BED FLAT, 58 sqm - 1 No
2 PERSON 1 BED FLAT, 57.8 sqm - 1 No
TOTAL - 11 FLATS

SECOND FLOOR:

2 PERSON 1 BED FLAT, 56 sqm - 9 No
2 PERSON 1 BED FLAT, 58 sqm - 1 No
2 PERSON 1 BED FLAT, 57.8 sqm - 1 No
TOTAL - 11 FLATS

TOTAL 29 FLATS



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P01 12/04/2021 HR LB Planning Issue
Rev Date By Ap Note

Drawing Title
Proposed Ground Floor Plan
Independent Living Apartments

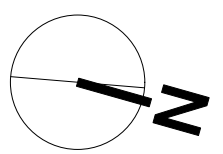
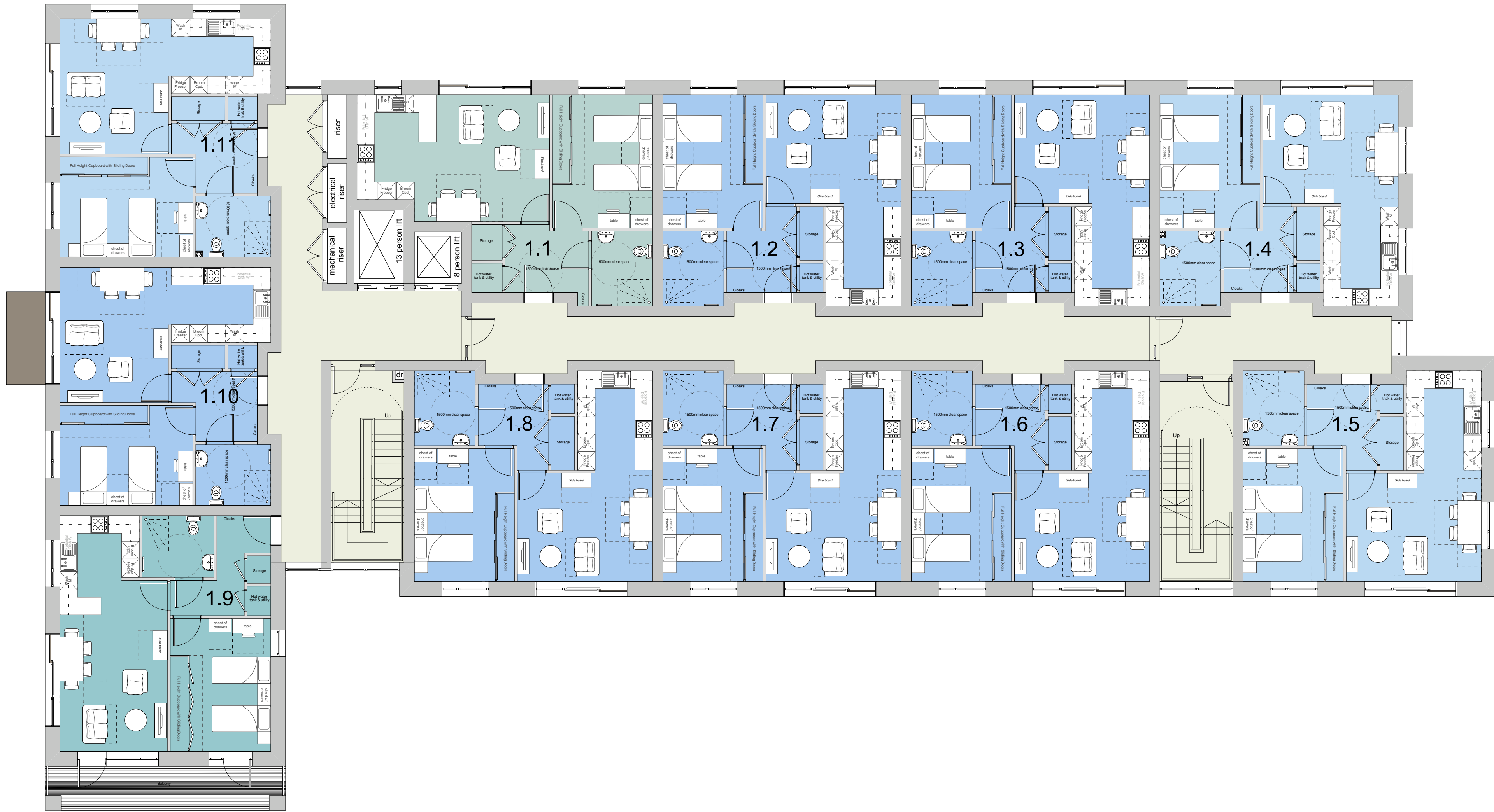
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scale 1:100 @ A1 scale 1:200 @ A3

FIRST FLOOR ACCOMMODATION:

2 PERSON 1 BED FLAT, 56 sqm - 9 No

2 PERSON 1 BED FLAT, 58 Sqm - 1 No

2 PERSON 1 BED FLAT, 57.8sqm - 1 No

11 FLATS IN TOTAL



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P01 12/04/2021 HR LB Planning Issue
Rev Date By Ap Note

Drawing Title
Proposed First Floor Plan
Independent Living Apartments

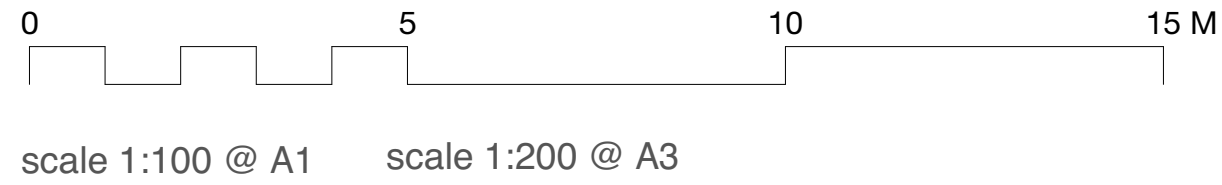
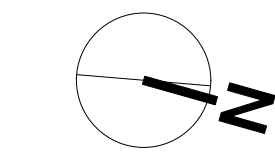
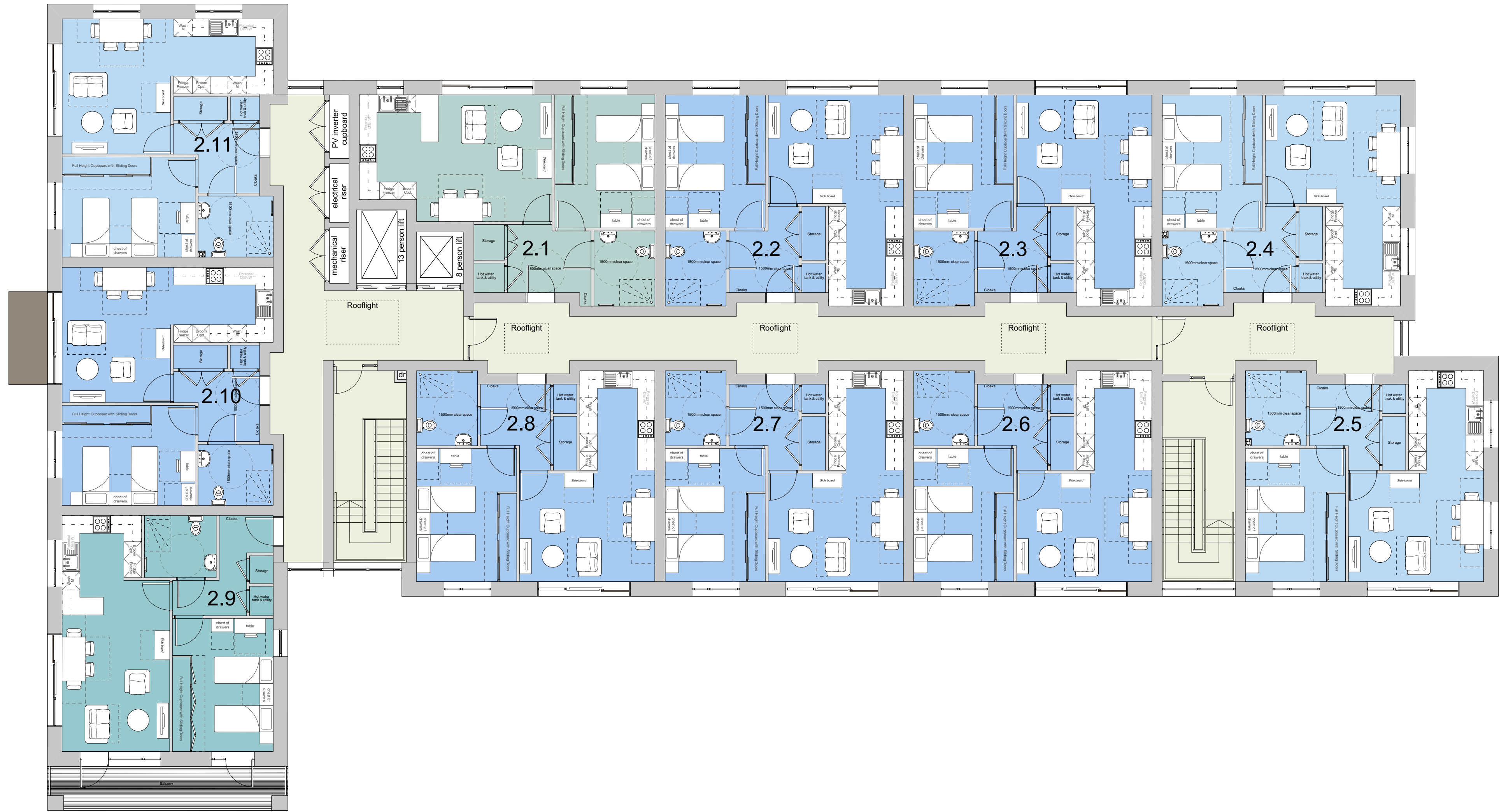
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SECOND FLOOR ACCOMMODATION:

- 2 PERSON 1 BED FLAT, 56 sqm - 9 No
- 2 PERSON 1 BED FLAT, 58 sqm - 1 No
- 2 PERSON 1 BED, 57.8 sqm - 1 No

11 FLATS IN TOTAL



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P01 12/04/2021 HR LB Planning Issue

Rev Date By Ap Note

Drawing Title
Proposed Second Floor Plan
Independent Living Apartments

Project Number Drawing Number Revision

190090 1413 P01

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12/04/21 HR LB PLANNING

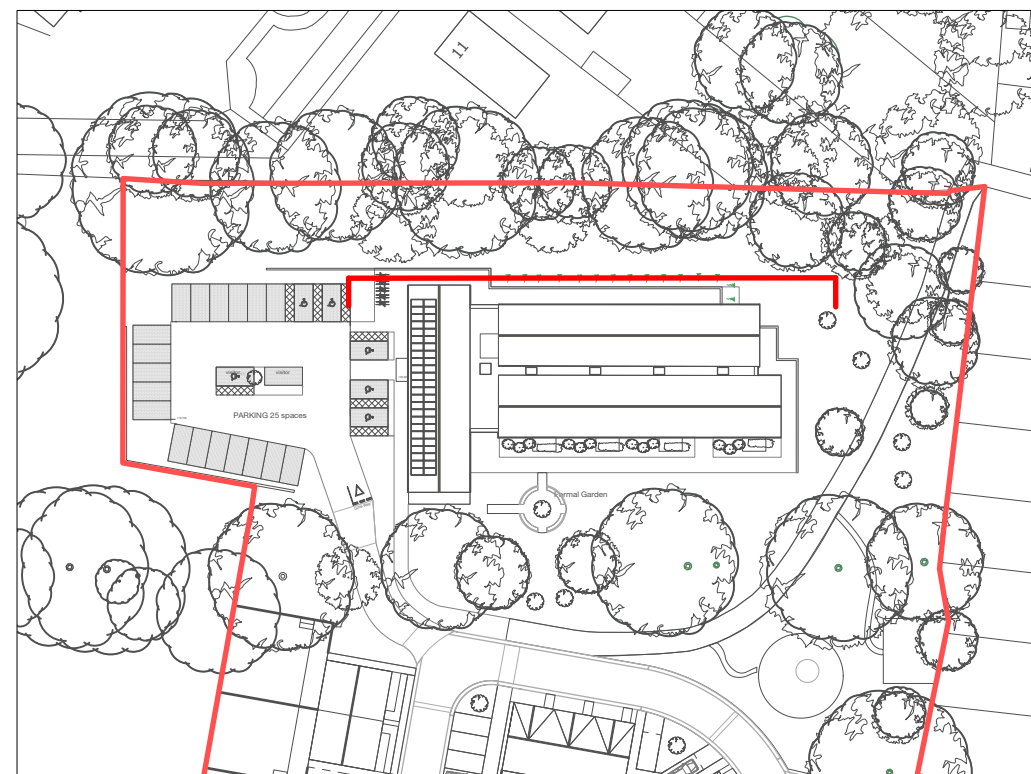
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1 Independent Living Apartments - West Elevation
Scale: 1:100

KEY



MATERIALS KEY:

External Walls:

- WL.1 - Dark red multi blend brick
- WL.2 - Light red multi blend brick
- WL.3 - Alternating dark and light red brick banding
- WL.4 - Dark red feature brick pattern
- WL.5 - Stone string course
- WL.6 - Hit & miss brickwork to naturally vent refuse store

External Windows:

- WD.1 - Grey aluminium & timber composite
- WD.2 - Grey aluminium curtain walling with glazed spandrel panels

External Doors:

- DR.1 - Grey SBD compliant glazed aluminium doors
- DR.2 - Grey SBD compliant louvered aluminium doors

Roof:

- RF.1 - Grey tiles
- RF.2 - Grey Aluminium canopy

Rainwater goods:

- RW.1 - Grey PVCu

Balcony Railings

- BC.1 - Grey PPC Aluminium Railings



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Drawing Title
Proposed West Elevation
Independent Living Apartments

Project Number Drawing Number Revision
190090 1503 P01

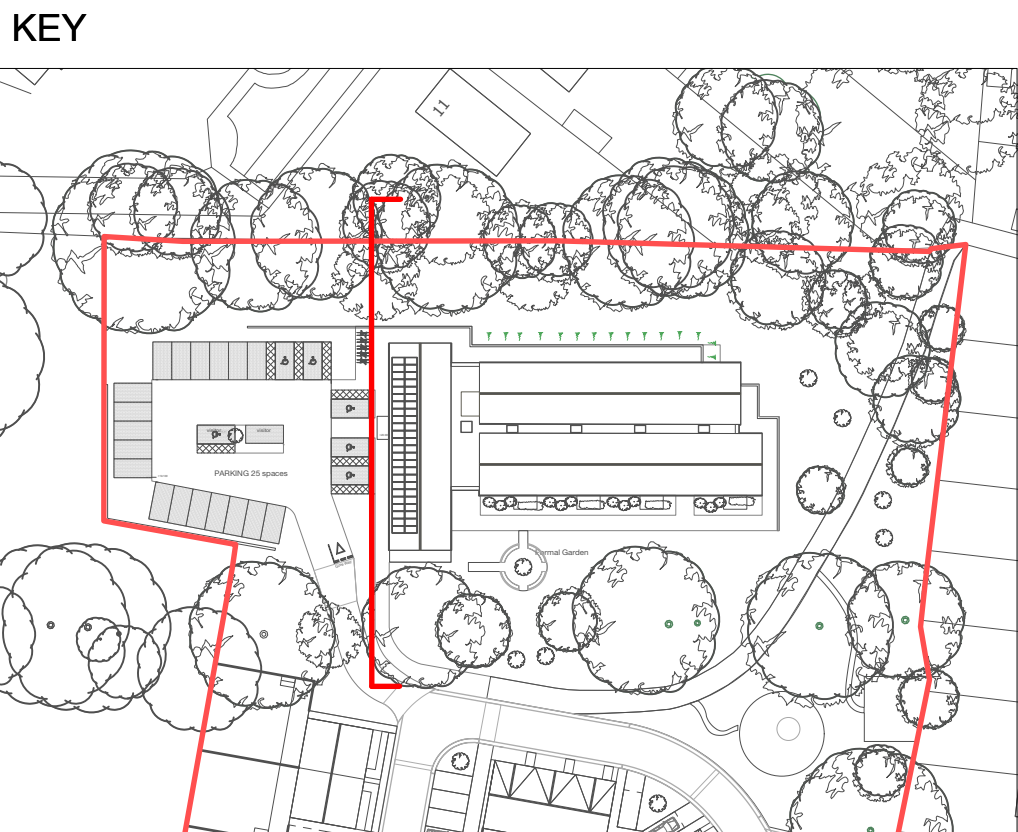
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1 Independent Living Apartments - South Elevation
Scale: 1:100



- MATERIALS KEY:**
- External Walls:
- WL.1 - Dark red multi blend brick
 - WL.2 - Light red multi blend brick
 - WL.3 - Alternating dark and light red brick banding
 - WL.4 - Dark red feature brick pattern
 - WL.5 - Stone string course
- External Windows:
- WD.1 - Grey aluminium & timber composite
 - WD.2 - Grey aluminium curtain walling with glazed spandrel panels
- External Doors:
- DR.1 - Grey SBD compliant glazed aluminium doors
 - DR.2 - Grey SBD compliant louvered aluminium doors
- Roof:
- RF.1 - Grey tiles
 - RF.2 - Grey Aluminium canopy
- Rainwater goods:
- RW.1 - Grey PVCu
- Balcony Railings
- BC.1 - Grey PPC Aluminium Railings
- Photovoltaic Roof Panels
- PV.1





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Drawing Title
Proposed South Elevation
Independent Living Apartments

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190090 1502 P01

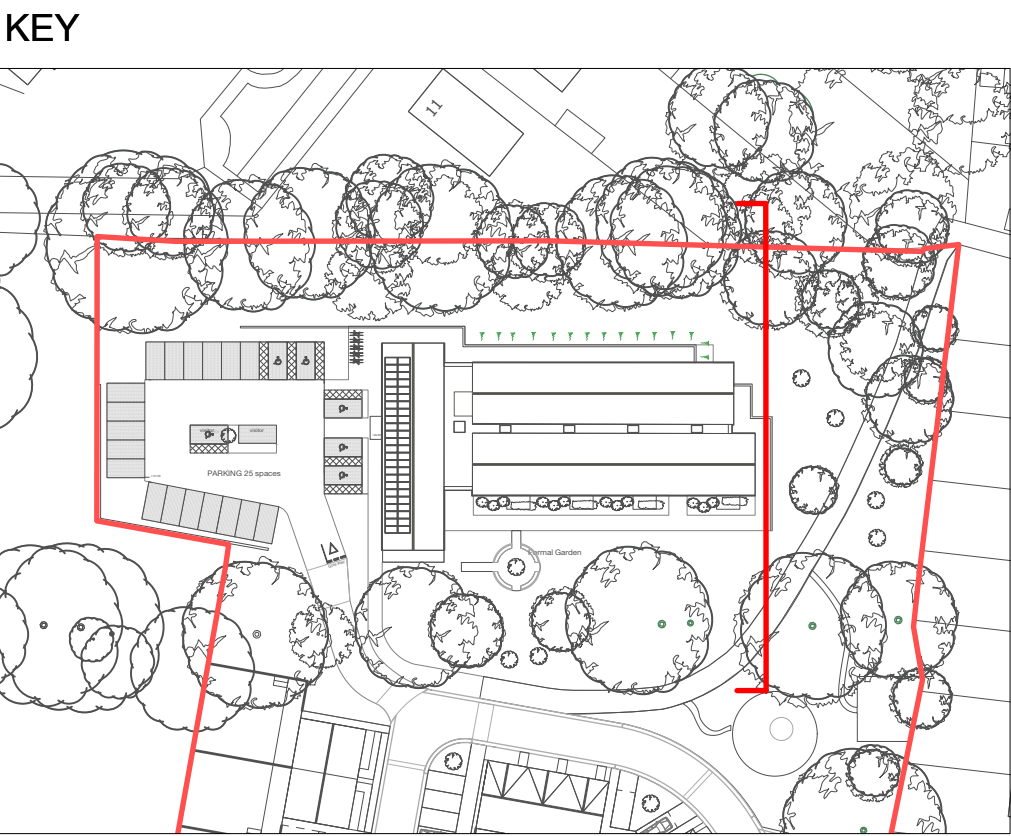
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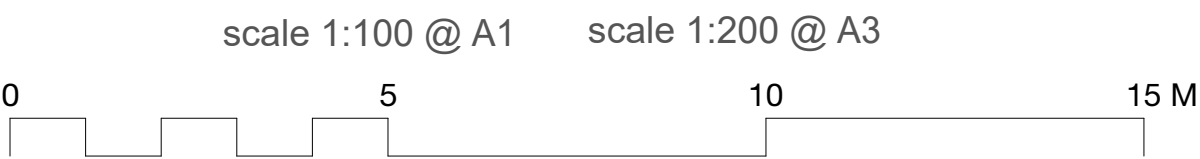
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1 **Independant Living Apartments - North Elevation**
Scale: 1:100



- MATERIALS KEY:**
- External Walls:
- WL.1 - Dark red multi blend brick
 - WL.2 - Light red multi blend brick
 - WL.3 - Alternating dark and light red brick banding
 - WL.4 - Dark red feature brick pattern
 - WL.5 - Stone string course
 - WL.6 - Hit & miss brickwork to naturally vent refuse store
- External Windows:
- WD.1 - Grey aluminium & timber composite
 - WD.2 - Grey aluminium curtain walling with glazed spandrel panels
- External Doors:
- DR.1 - Grey SBD compliant glazed aluminium doors
 - DR.2 - Grey SBD compliant louvered aluminium doors
- Roof:
- RF.1 - Grey tiles
 - RF.2 - Grey Aluminium canopy
- Rainwater goods:
- RW.1 - Grey PVCu
- Balcony Railings
- BC.1 - Grey PPC Aluminium Railings



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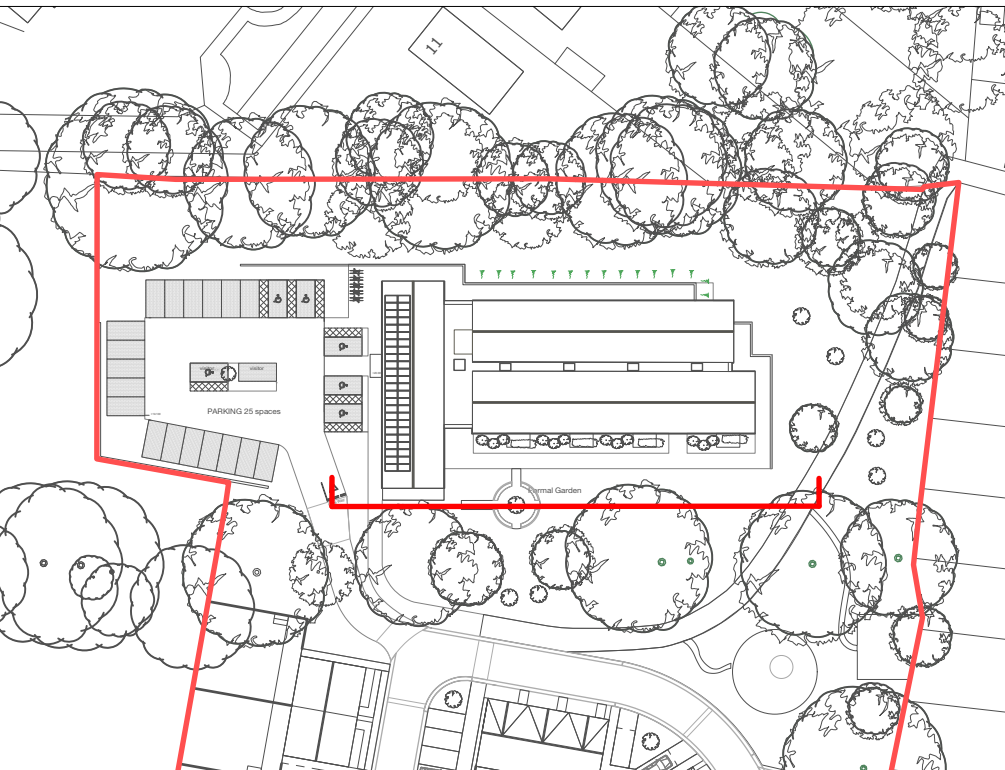
P01 12/04/2021 HR LB Planning Issue			
Rev	Date	By	Ap Note
Drawing Title			
Proposed North Elevation Independent Living Apartments			
Project Number		Drawing Number	Revision
190090		1504	P01
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1 Independent Living Apartments - East Elevation
Scale: 1:100

KEY



MATERIALS KEY:

External Walls:

- WL.1 - Dark red multi blend brick
- WL.2 - Light red multi blend brick
- WL.3 - Alternating dark and light red brick banding
- WL.4 - Dark red feature brick pattern
- WL.5 - Stone string course

External Windows:

- WD.1 - Grey aluminium & timber composite
- WD.2 - Grey aluminium curtain walling with glazed spandrel panels

External Doors:

- DR.1 - Grey SBD compliant aluminium doors

Roof:

- RF.1 - Grey tiles
- RF.2 - Grey Aluminium canopy

Rainwater goods:

- RW.1 - Grey PVCu

Balcony Railings

- BC.1 - Grey PPC Aluminium Railings



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Date 12/04/21 Drawn HR Checked LB Status PLANNING

P01 12/04/2021 HR LB Planning Issue
Rev Date By Ap Note

Drawing Title
Proposed East Elevation
Independent Living Apartments

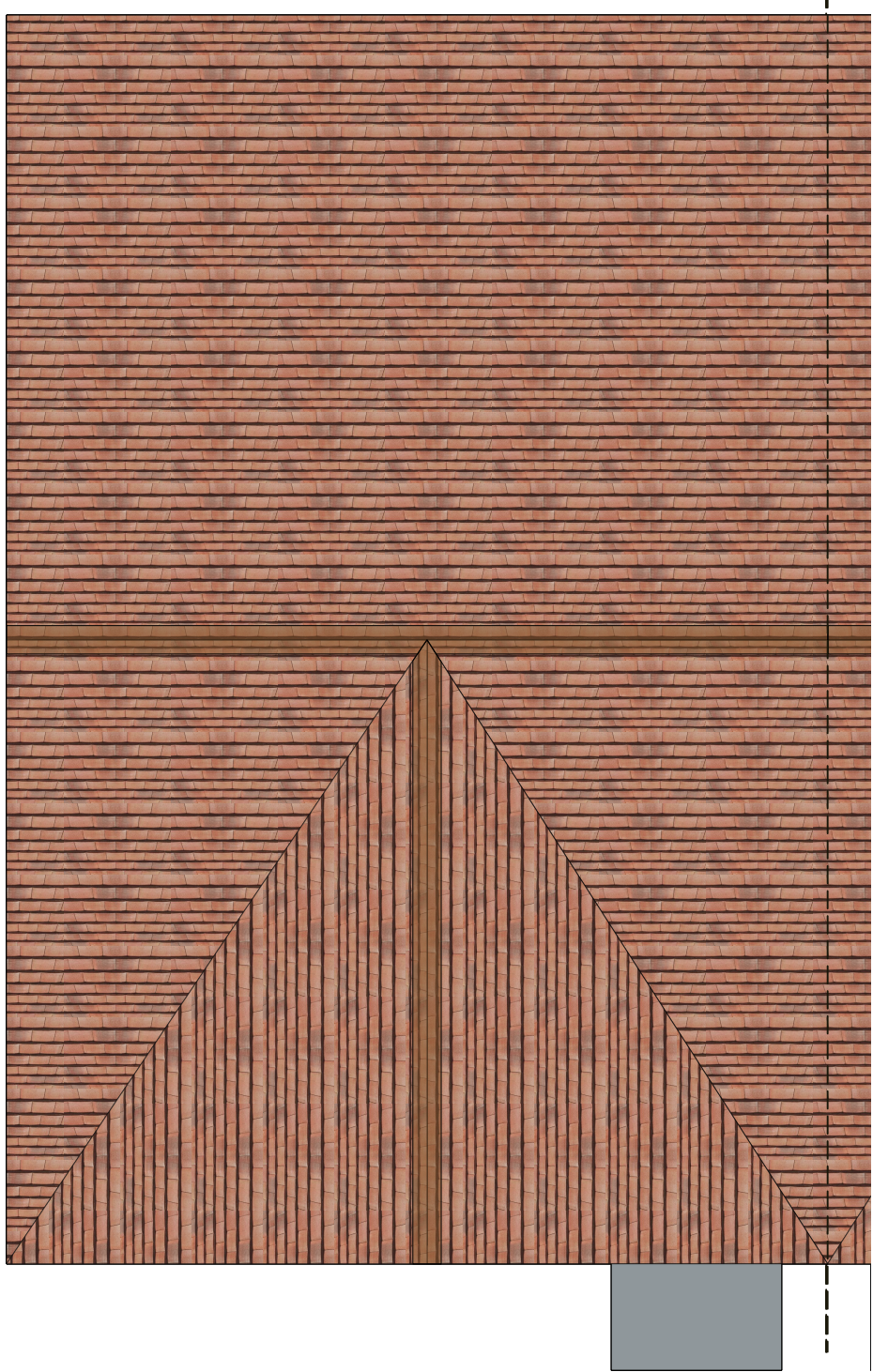
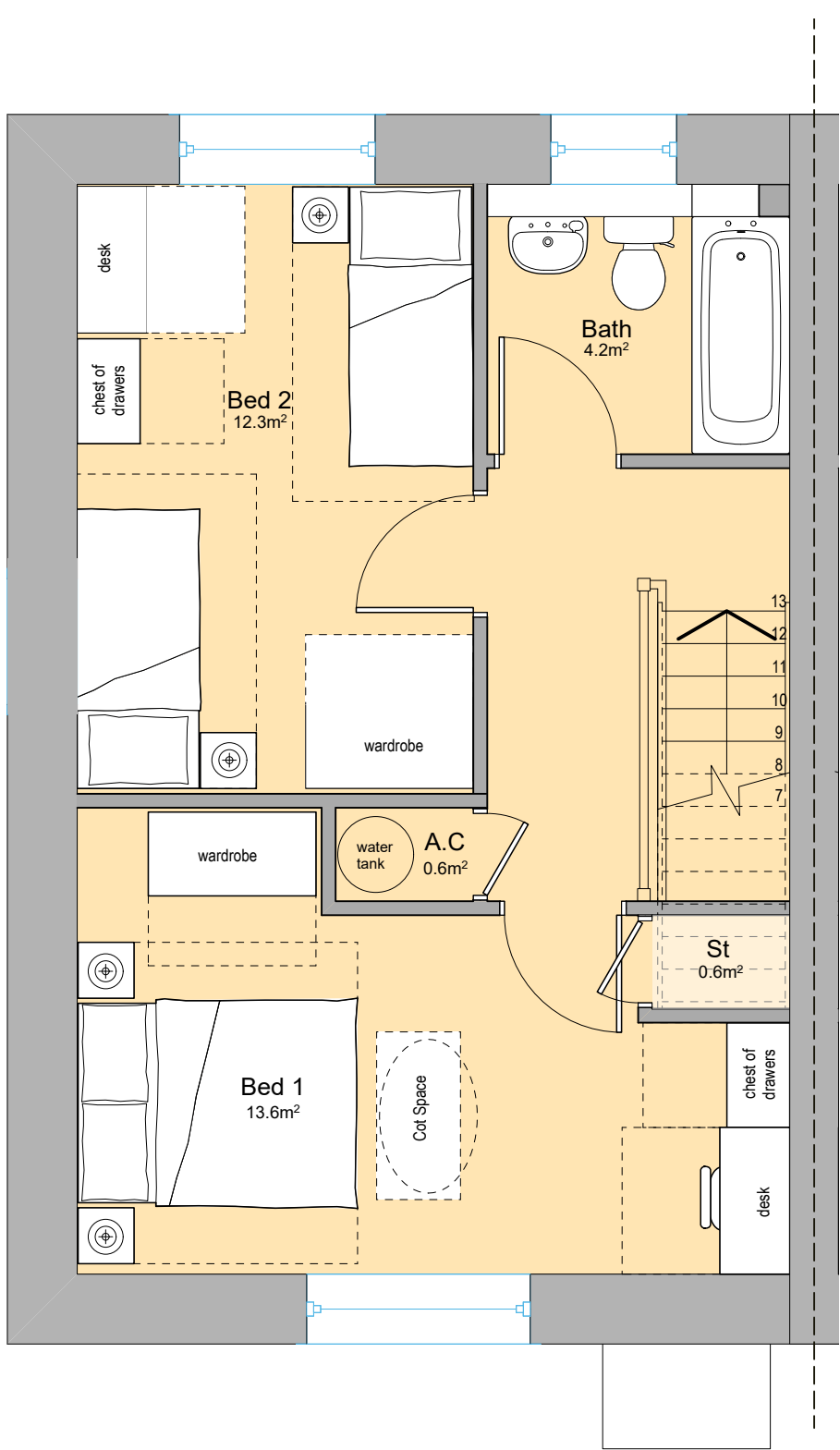
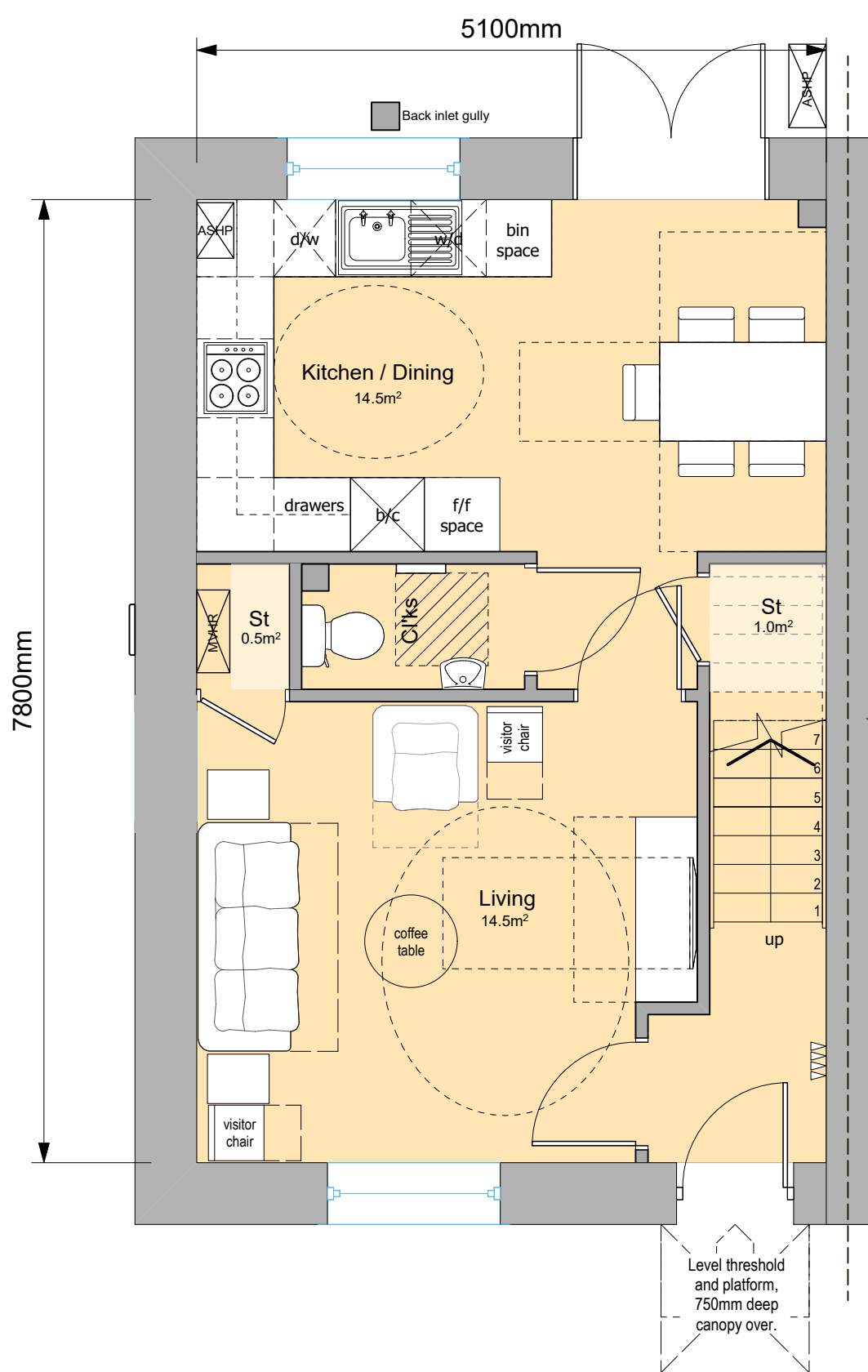
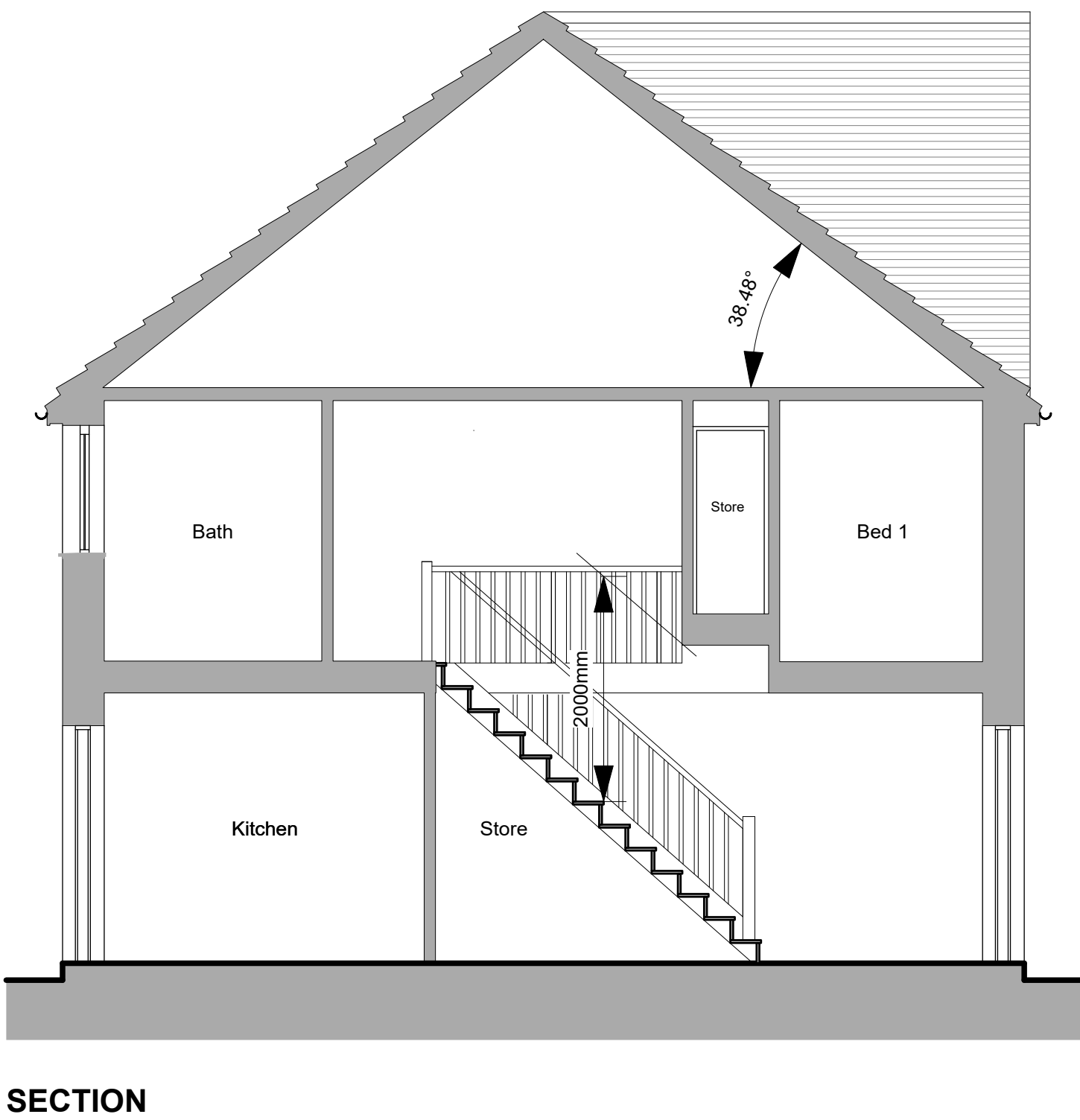
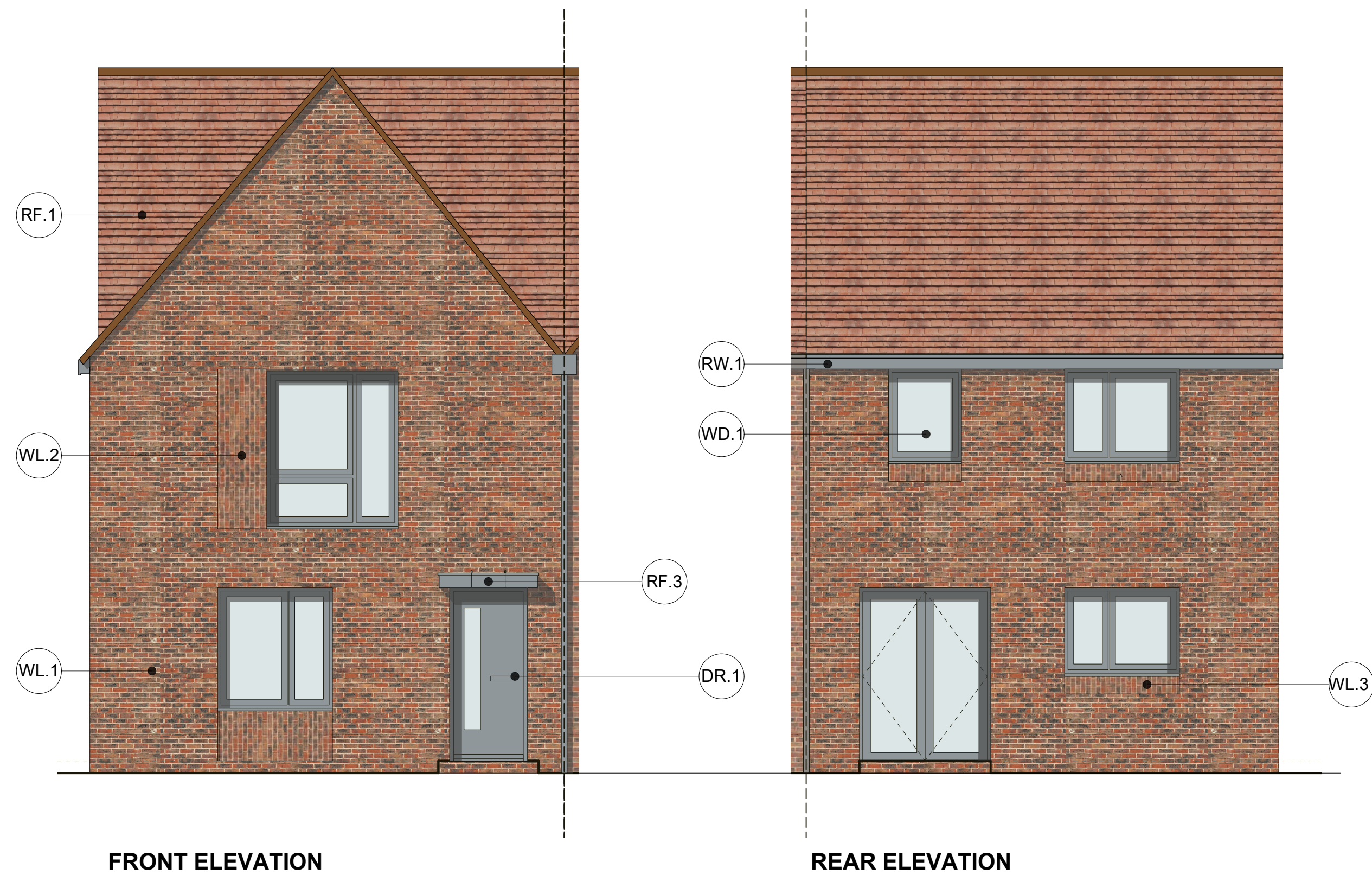
Project Number Drawing Number Revision
190090 1501 P01

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TYPE B1.1 - GABLE ROOF



MATERIALS KEY:

External Walls:

- WL.1 - Dark red multi blend brick
- WL.2 - Dark red multi blend brick Vertical Course
- WL.3 - Dark red multi blend brick Soldier Course
- WL.4 - Light red multi blend brick Soldier Course

External Windows:

- WD.1 - Grey aluminium & timber composite

External Doors:

- DR.1 - Grey SBD compliant composite doors

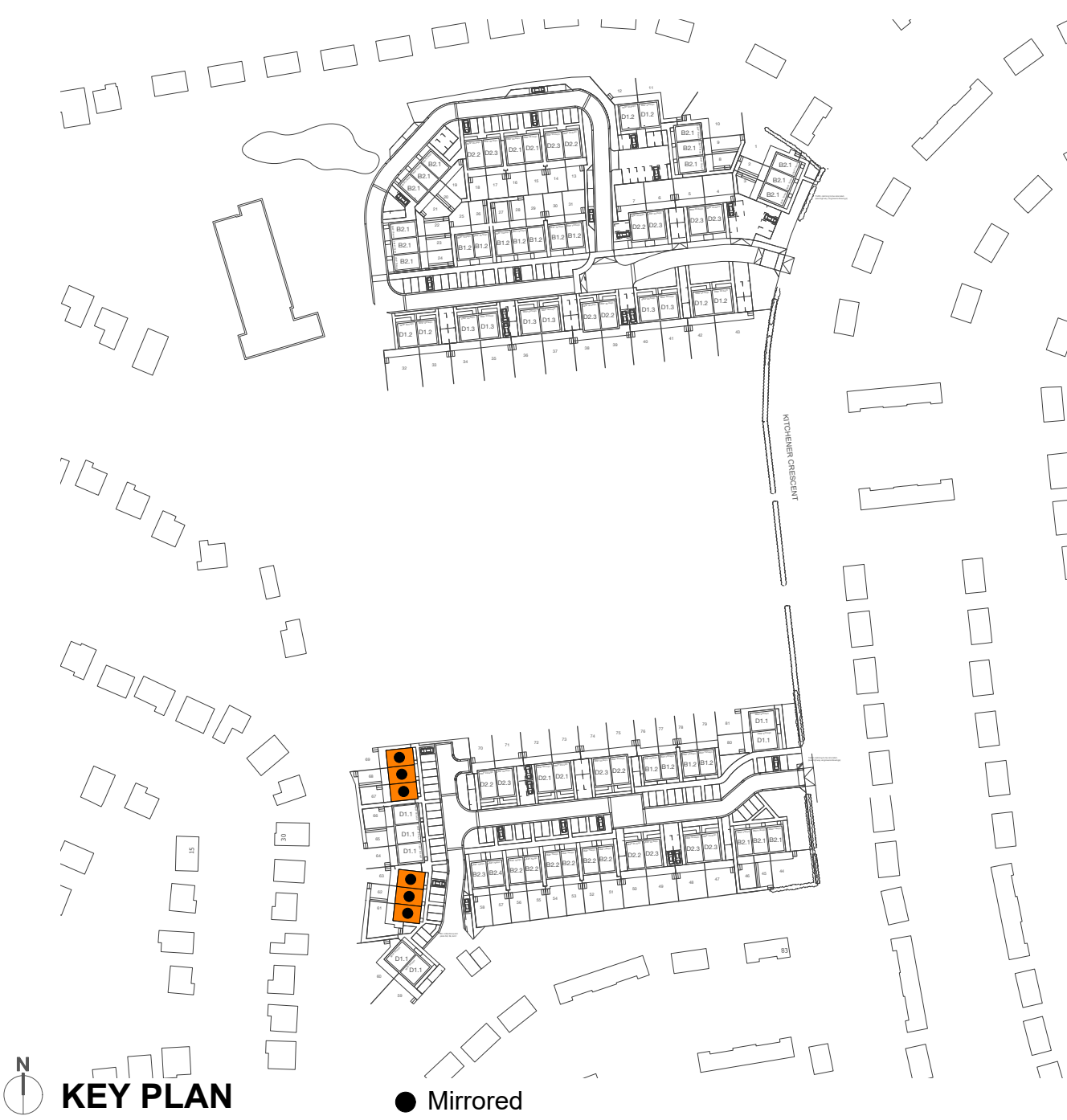
Roof:

- RF.1 - Red tiles
- RF.2 - Grey tiles
- RF.3 - Grey GRP canopy

Rainwater goods:

- RW.1 - Grey PVCu

PLOTS : 61, 62, 63, 67, 68, 69



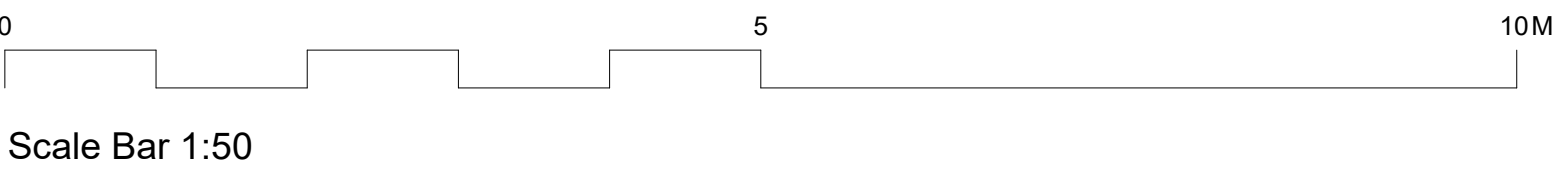
STORAGE AREAS

NDSS: 2.0m²

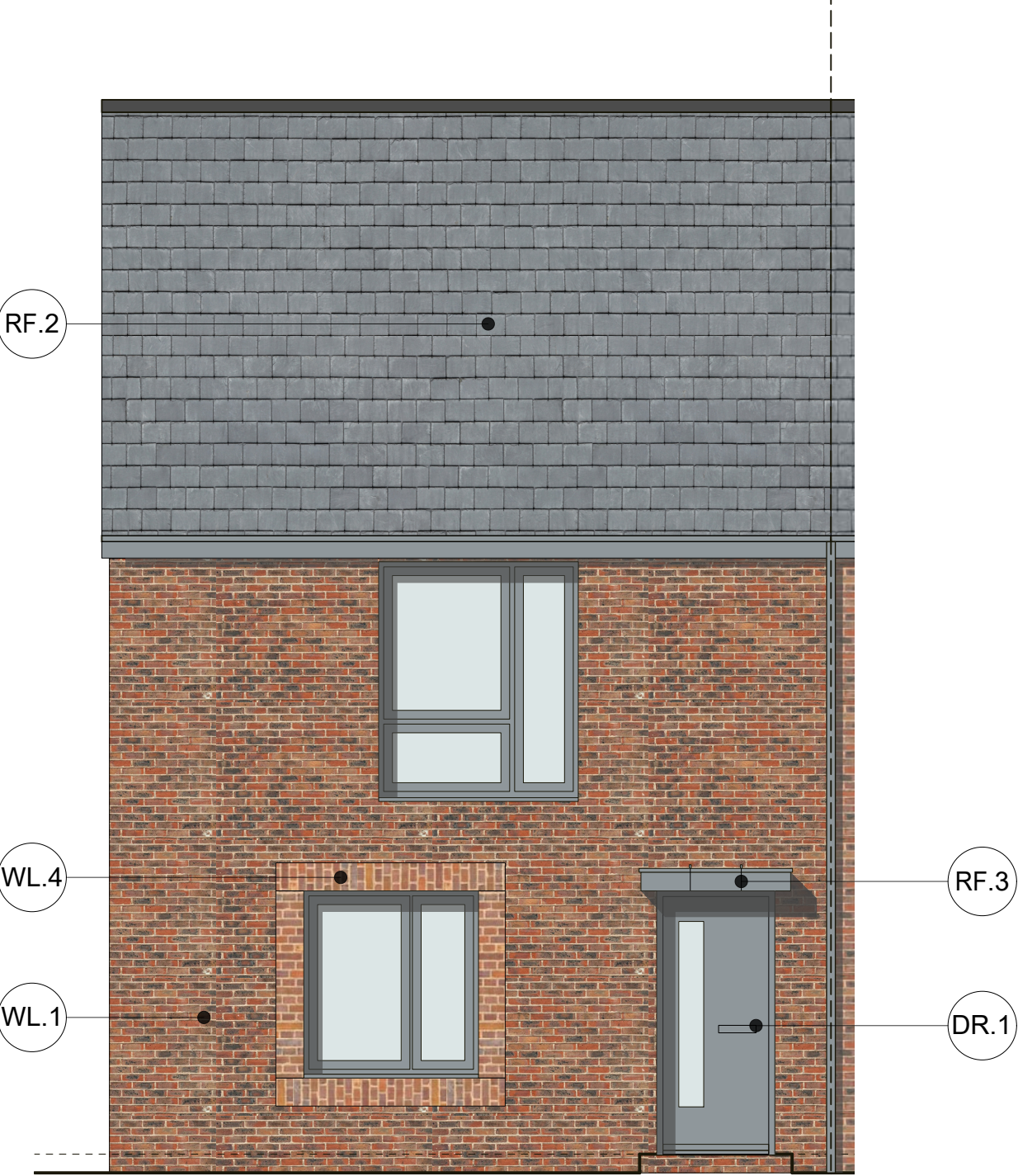
Provided: 2.1m²



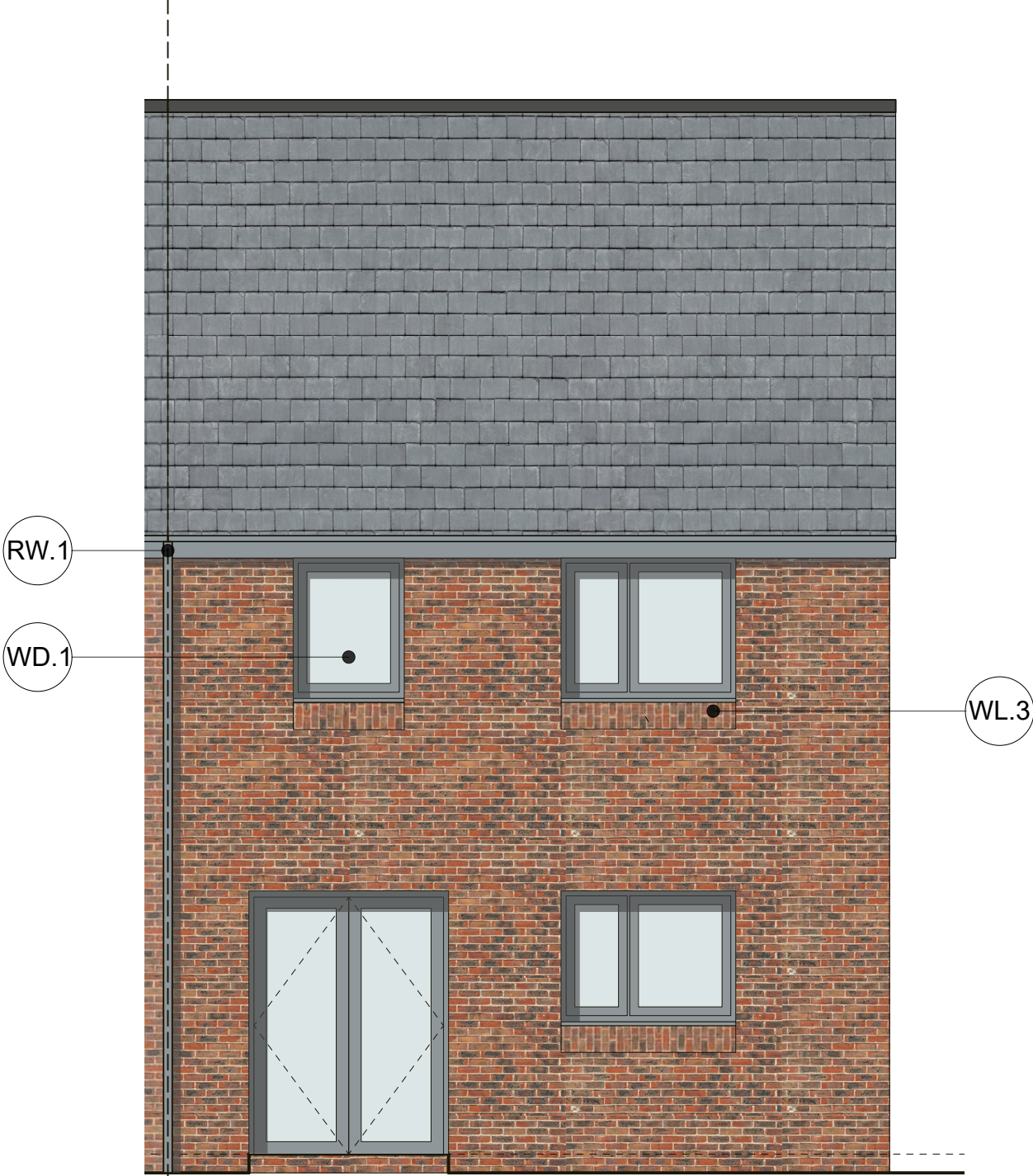
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	Client Poole Housing Partnership	Project Number		Drawing Number		Revision
	Scale 1:50	Page Size A1	Filename 190090 MASTER - 2B4P TYPE B.vwx	Date 12/04/21	Drawn HA	Checked LB



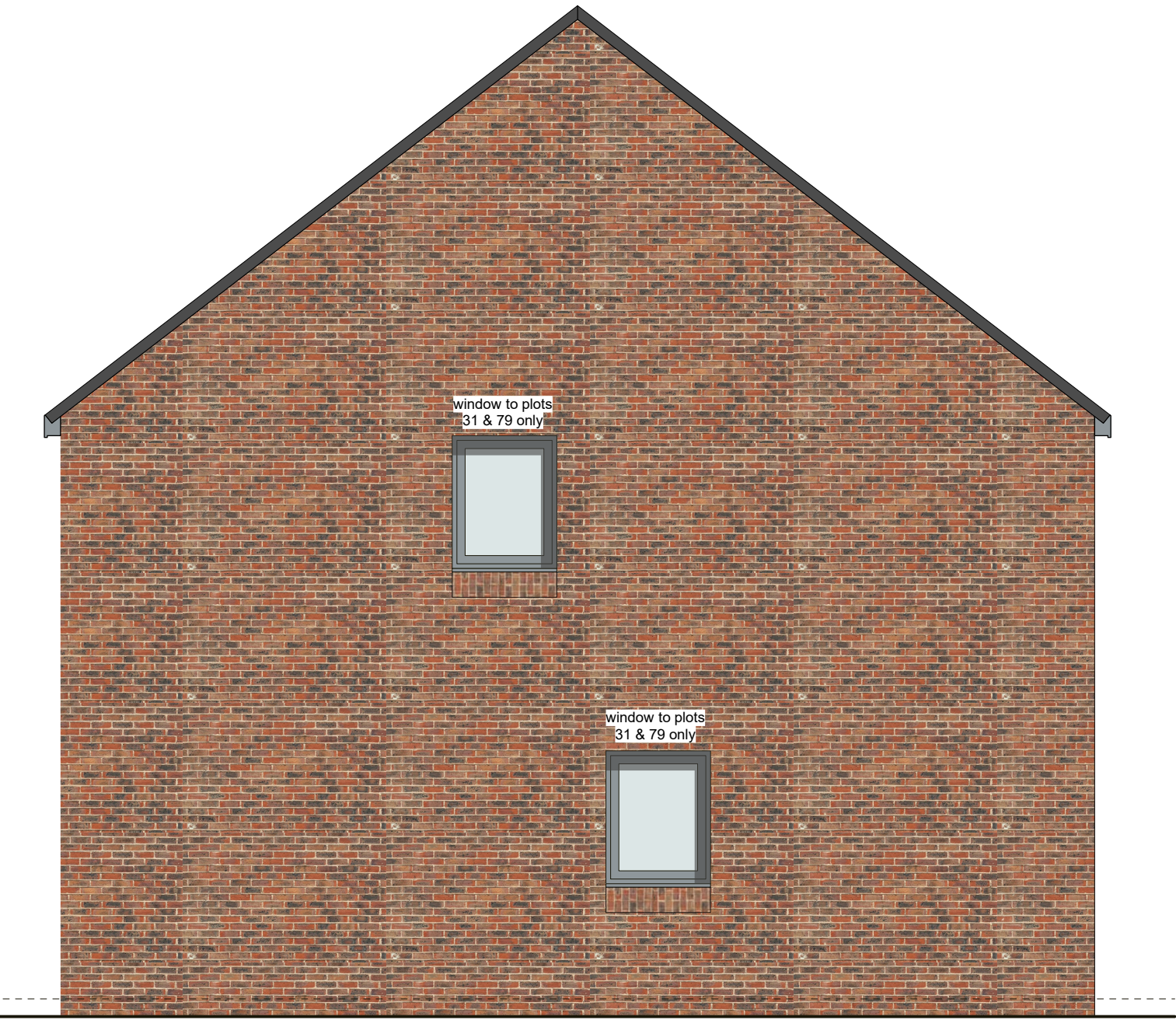
TYPE B1.2 - STANDARD ROOF



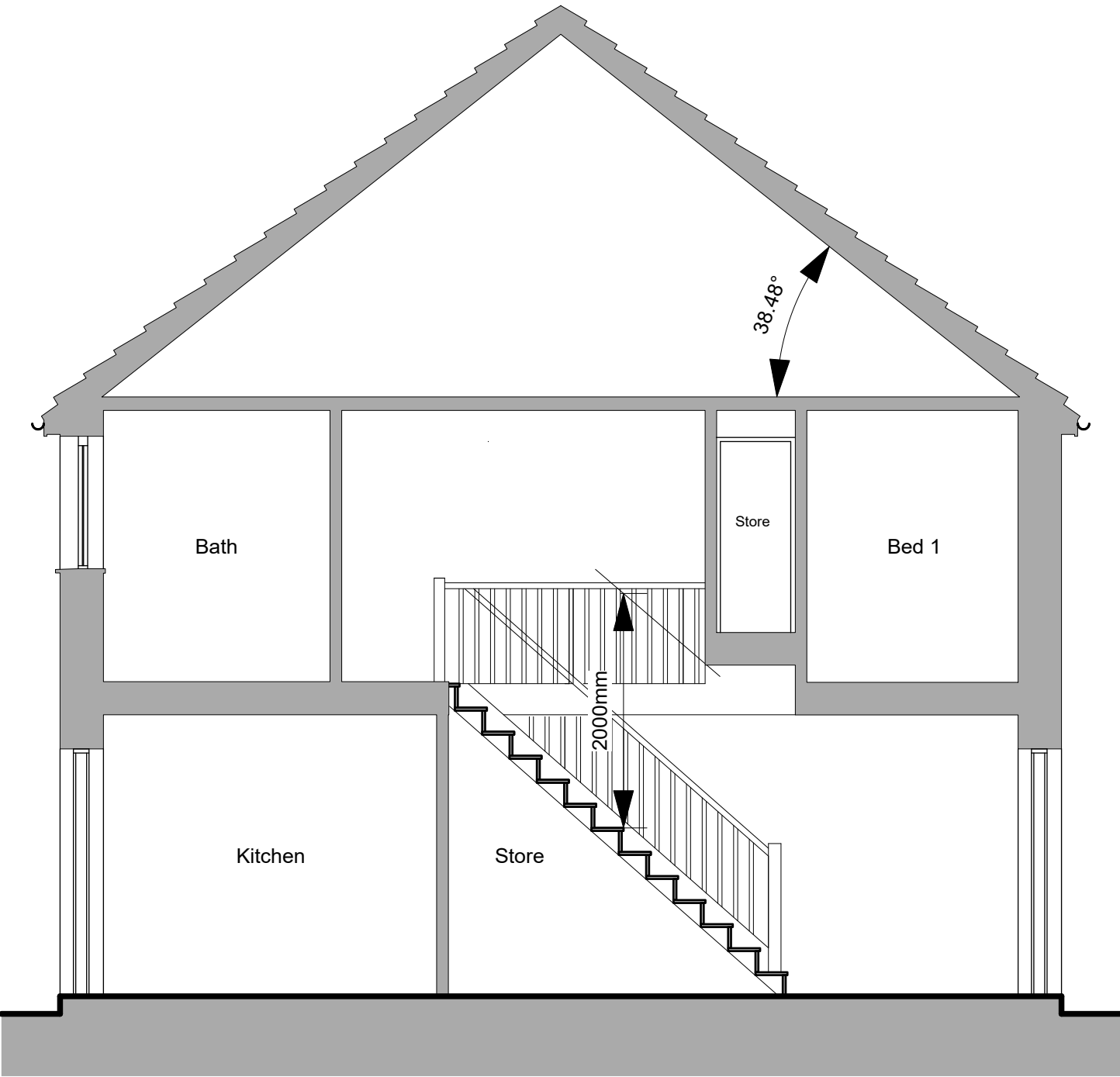
FRONT ELEVATION



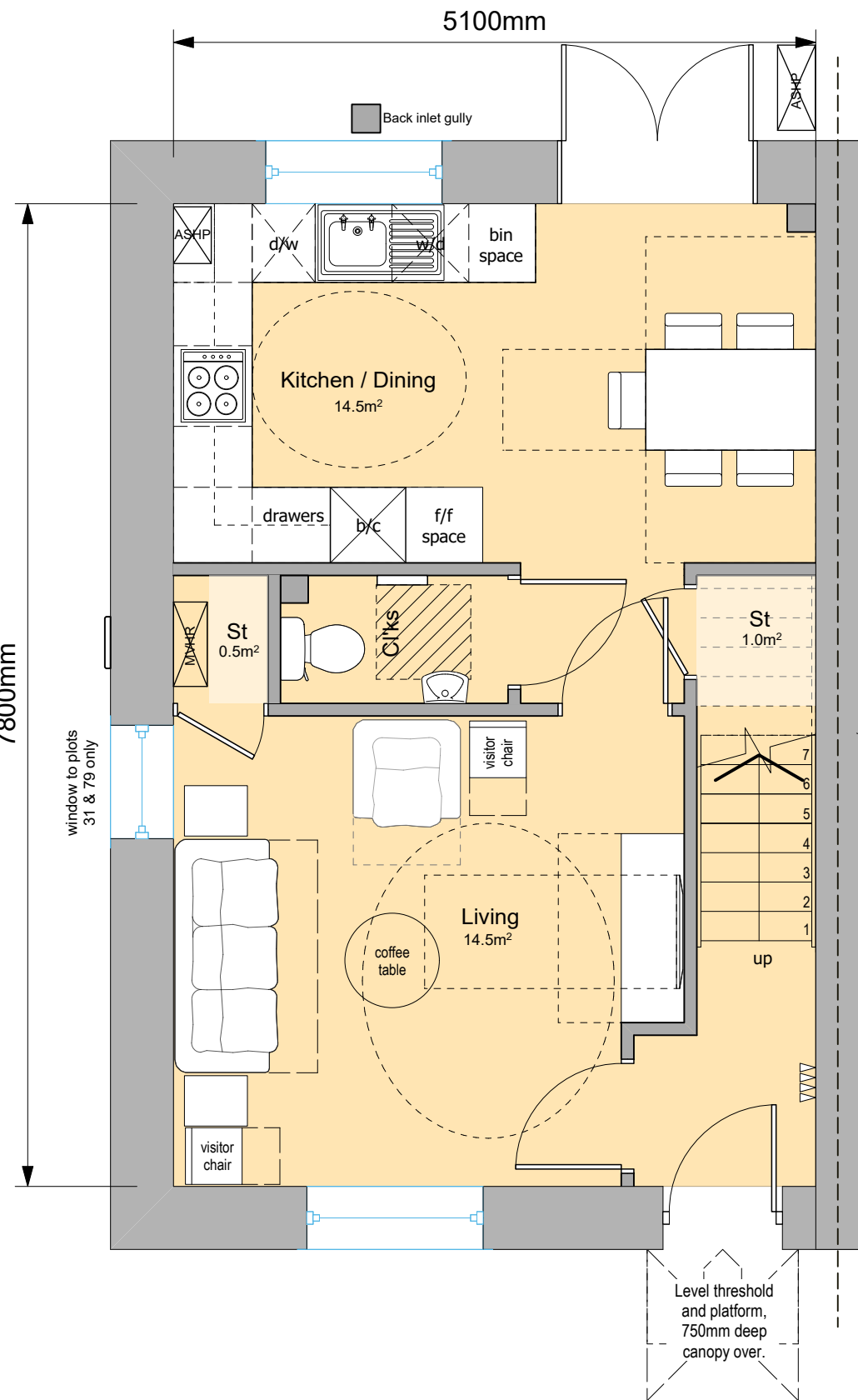
REAR ELEVATION



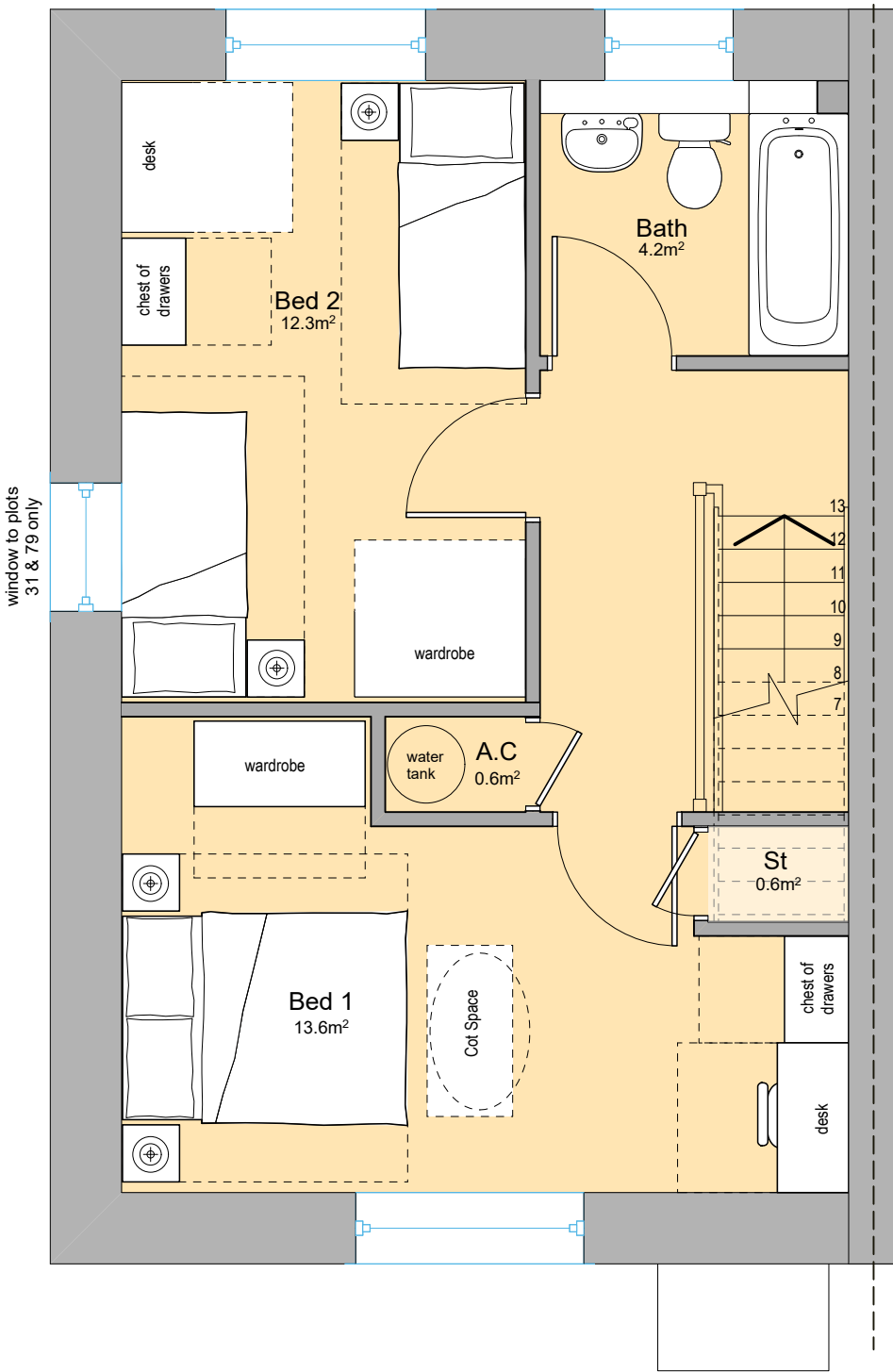
SIDE ELEVATION



SECTION



GROUND FLOOR PLAN - TYPE B1
Gross internal area: 39.78m²
Total internal area: 79.56m²



FIRST FLOOR PLAN - TYPE B1
Gross internal area: 39.78m²



ROOF PLAN - TYPE B1 - STANDARD ROOF

MATERIALS KEY:

External Walls:

- WL.1 - Dark red multi blend brick
- WL.2 - Dark red multi blend brick Vertical Course
- WL.3 - Dark red multi blend brick Soldier Course
- WL.4 - Light red multi blend brick Soldier Course

External Windows:

- WD.1 - Grey aluminium & timber composite

External Doors:

- DR.1 - Grey SBD compliant composite doors

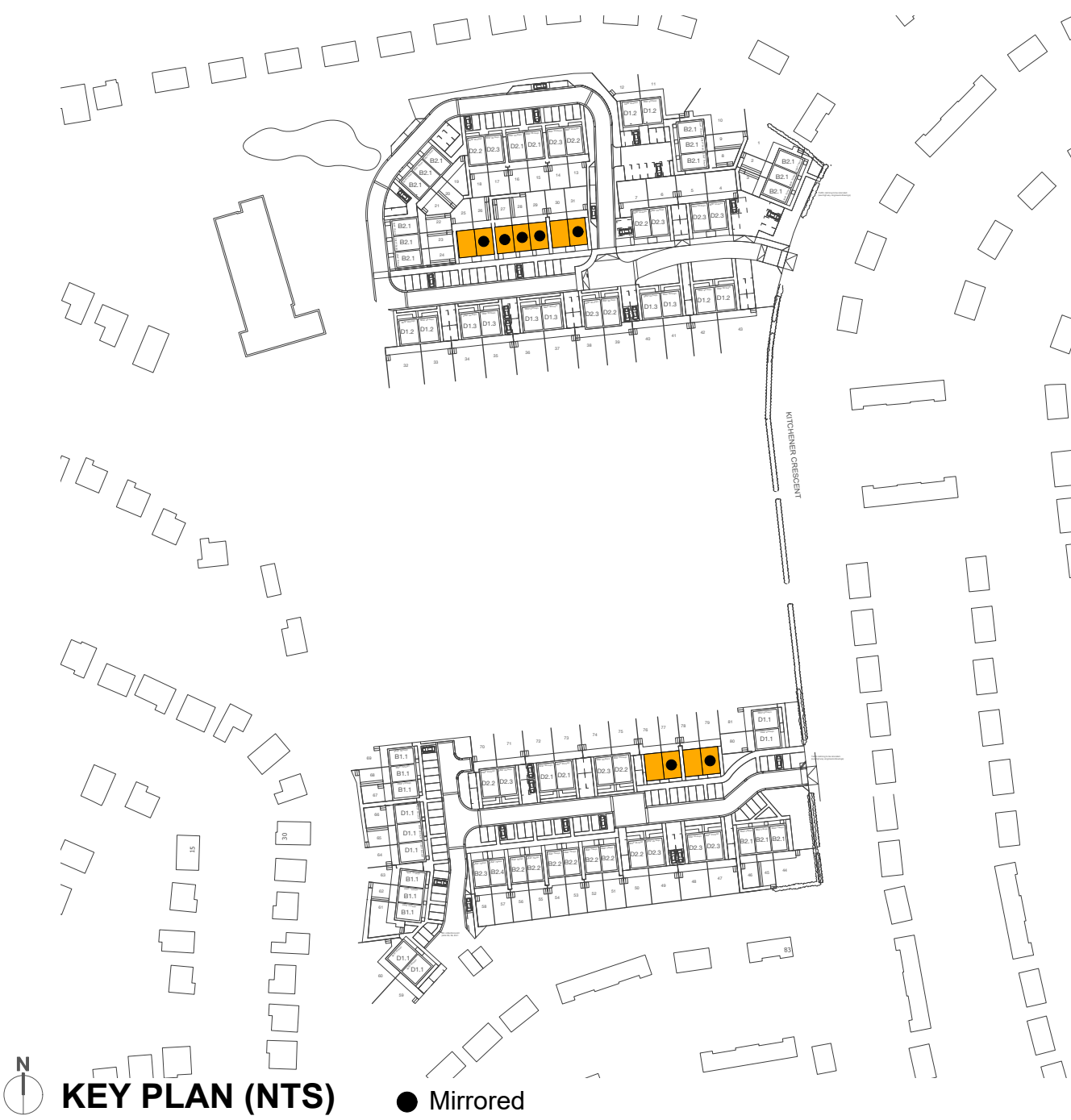
Roof:

- RF.1 - Red tiles
- RF.2 - Grey tiles
- RF.3 - Grey GRP canopy

Rainwater goods:

- RW.1 - Grey PVCu

PLOTS : 25, 26, 27, 28, 29, 30, 31, 76, 77, 78, 79



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Client
Poole Housing Partnership

Scale
1:50

Project
Hillbourne Housing Scheme

Project Number
190090-MASTER - 2B4P TYPE B.vwx

Project Number
190090-1461

Project Number
P10

P10 12/04/2021 HR LB Planning Issue

Rev Date By Ap Note

Drawing Title

2B4P House Type B1.2

Standard Roof

Project Number

190090-1461

Project Number

P10

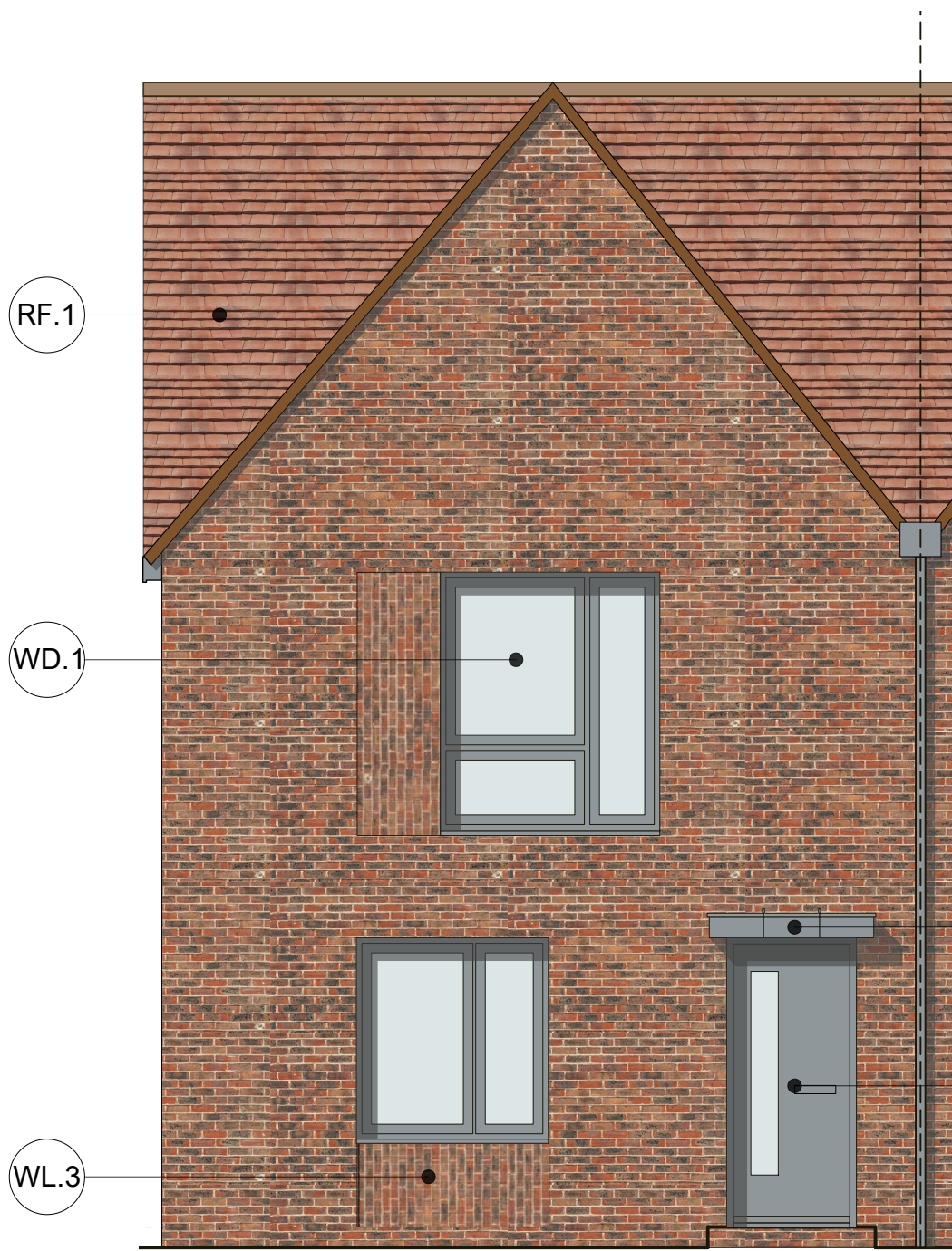
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P10

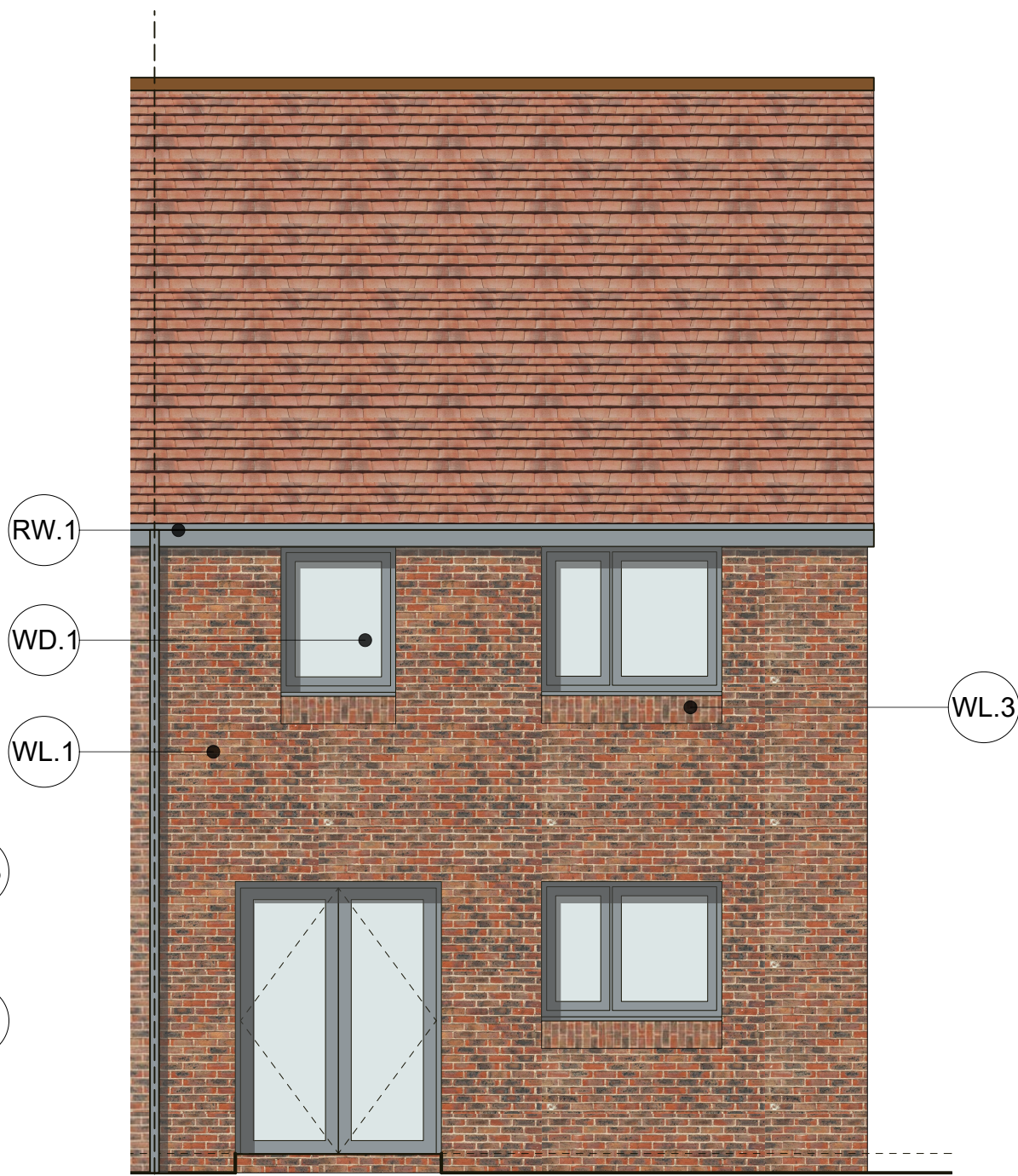
Project Number

P10

TYPE B2.1 - GABLE ROOF



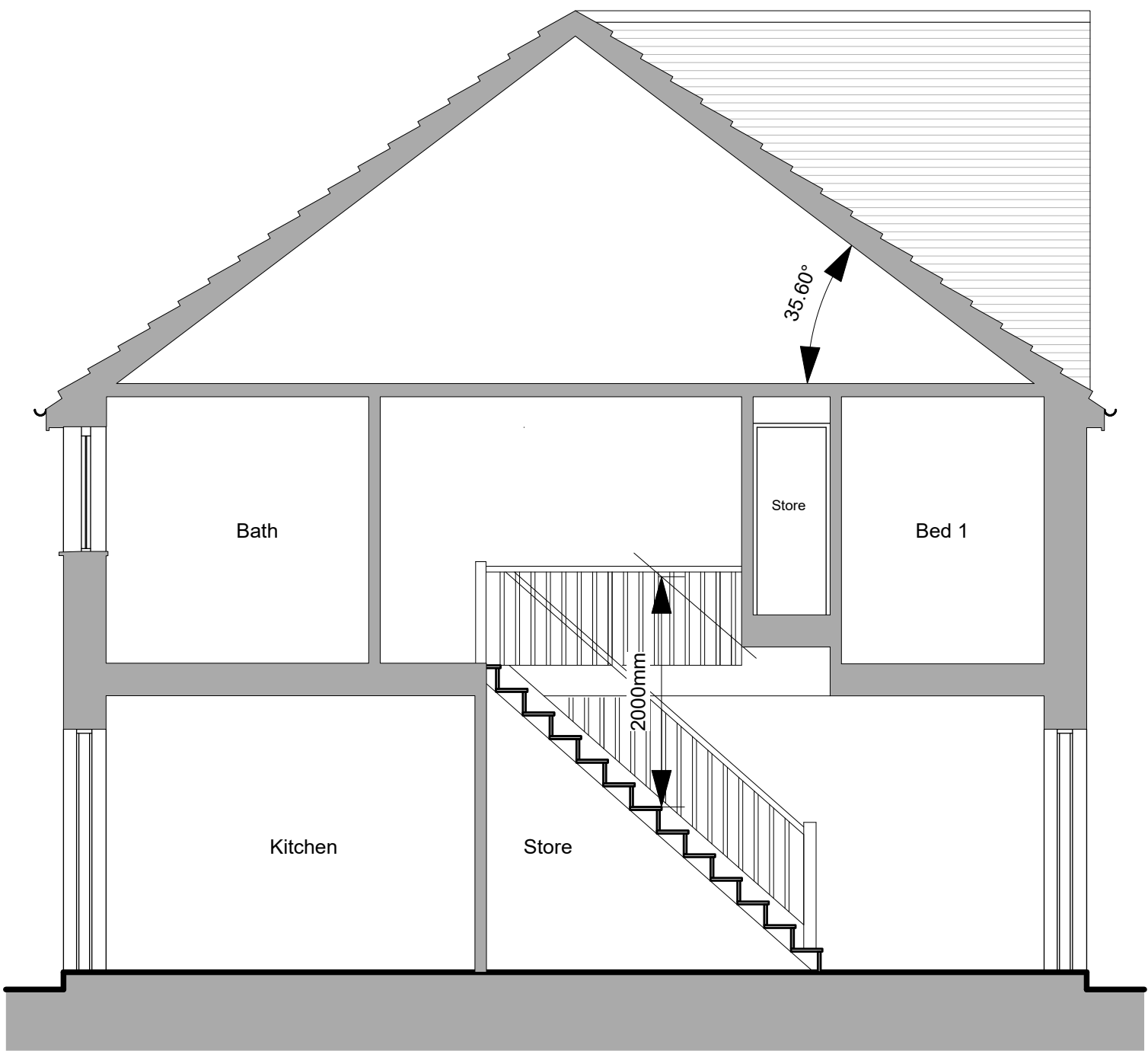
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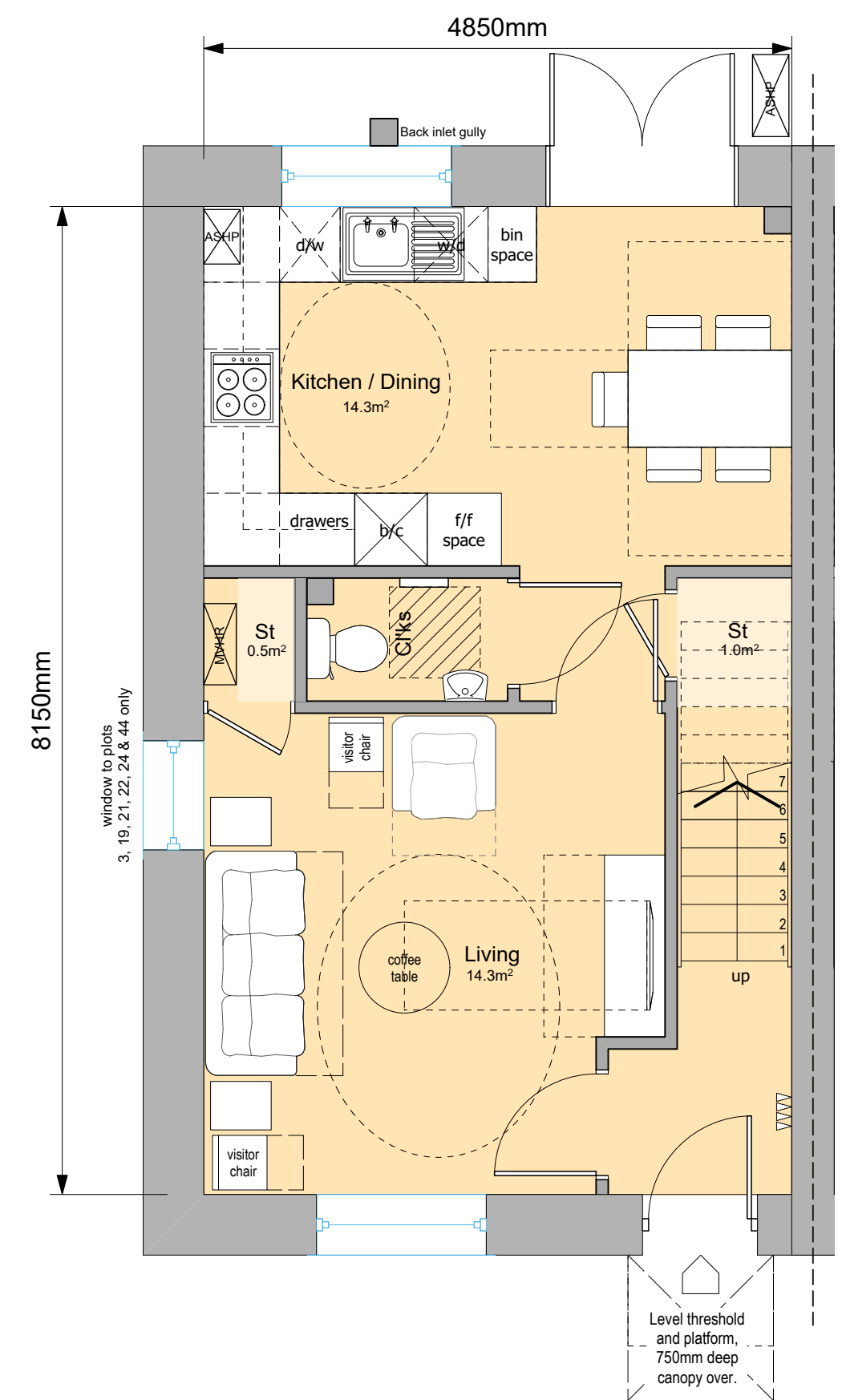
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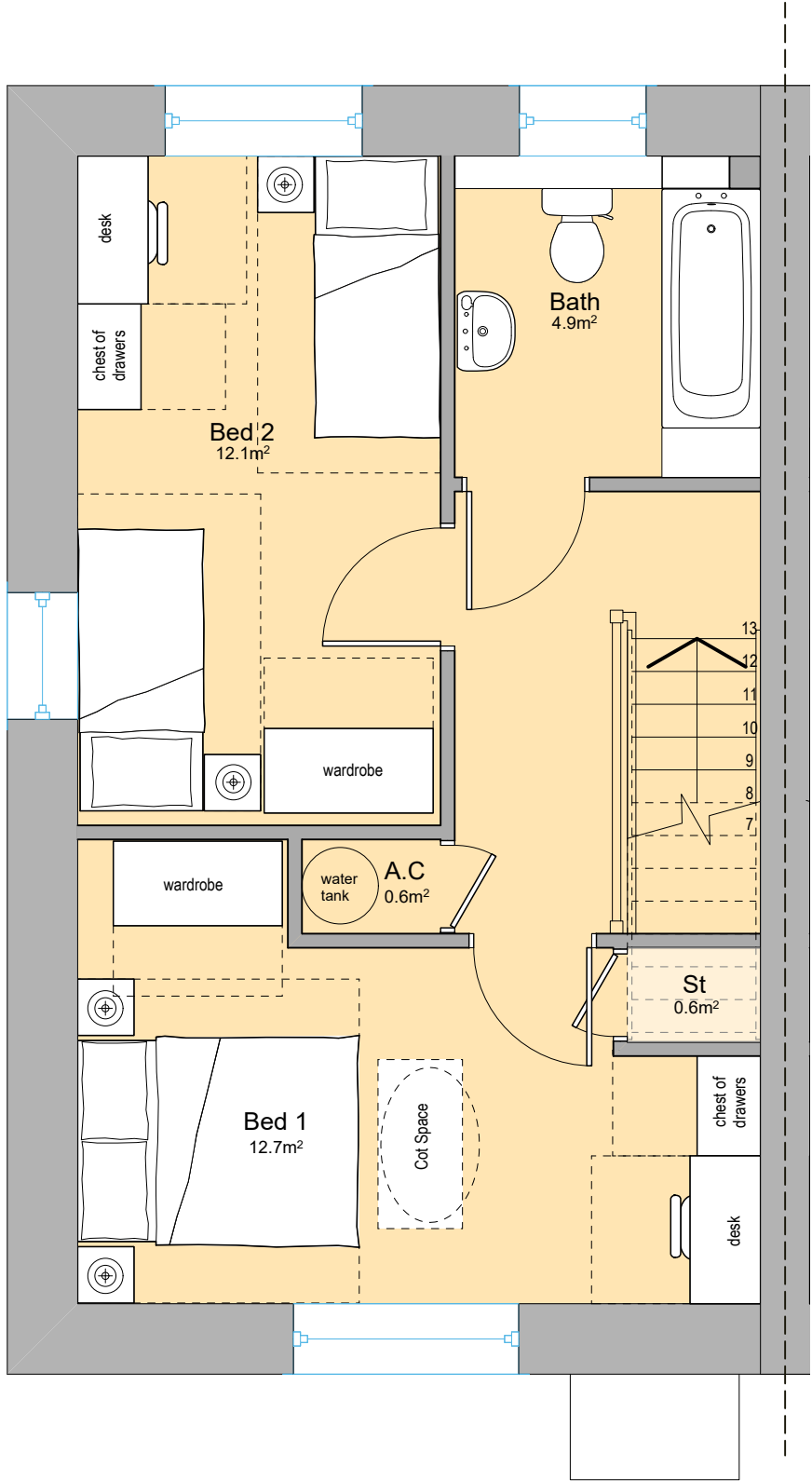
SIDE ELEVATION



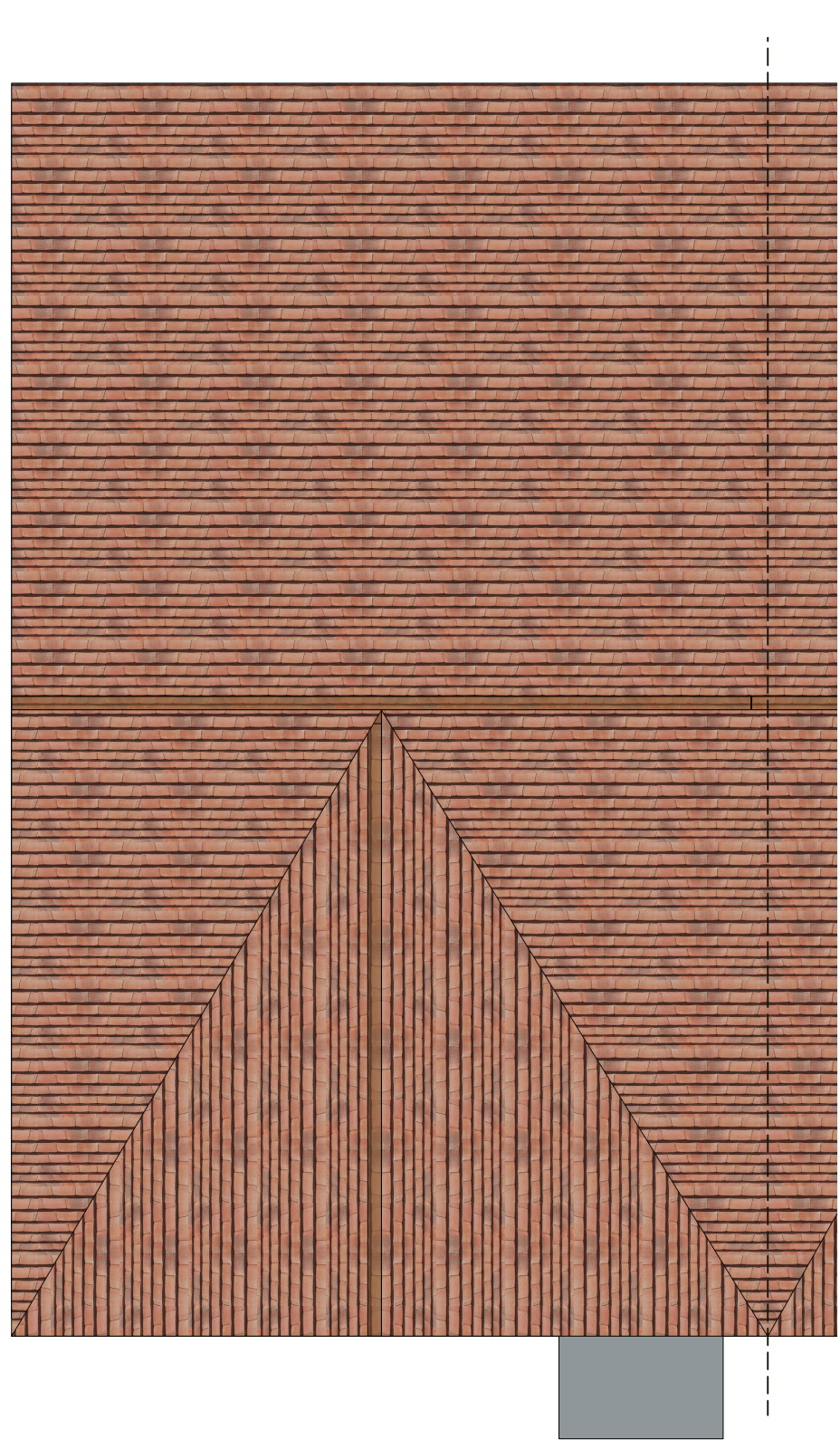
SECTION



GROUND FLOOR PLAN - TYPE B2
Gross internal area: 39.53m²
Total internal area: 79.05m²



FIRST FLOOR PLAN - TYPE B2
Gross internal area: 39.53m²



ROOF PLAN - TYPE B2 - TERRACE

MATERIALS KEY:

External Walls:

- WL.1 - Dark red multi blend brick
- WL.2 - Dark red multi blend brick Vertical Course
- WL.3 - Dark red multi blend brick Soldier Course
- WL.4 - Light red multi blend brick Soldier Course

External Windows:

- WD.1 - Grey aluminium & timber composite

External Doors:

- DR.1 - Grey SBD compliant composite doors

Roof:

- RF.1 - Red tiles
- RF.2 - Grey tiles
- RF.3 - Grey GRP canopy

Rainwater goods:

- RW.1 - Grey PVCu

PLOTS : 1, 2, 3, 8, 9, 10, 19, 20, 21, 22, 23, 24, 44, 45, 46



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Project Hillbourne Housing Scheme
Client Poole Housing Partnership

Scale 1:50
Paper Size A1
Filename 190090 MASTER - 2B4P TYPE B.vwx
Drawing Date 12/04/21
Check all dimensions and levels on site

Check all dimensions and levels on site

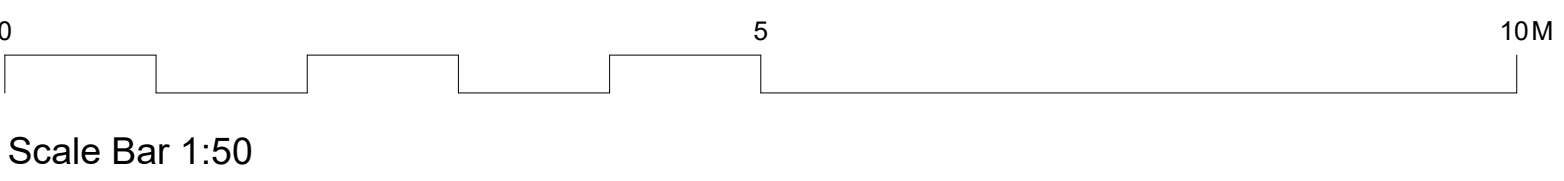
P10 12/04/2021 HR LB Planning Issue

Rev Date By Ap Note

2B4P House Type B2.1
Gable Roof

190090-1462 P10

Check all dimensions and levels on site



Scale Bar 1:50

A large, textured brick wall with a gabled roof, representing a building facade. The bricks are reddish-brown with dark mortar lines. The roof is dark grey and triangular. The wall is rectangular with a thin black border.

37.38°

Bath

Store

Bed 1

2000mm

Kitchen

Store

The floor plan shows a residential unit with the following layout and features:

- Overall Dimensions:** 4850mm wide by 8150mm deep.
- Kitchen / Dining (14.3m²):** Features a sink, stove, and refrigerator. Includes a back inlet gully, bin space, and storage areas (d/w, b/c, f/f space, drawers).
- Living (14.3m²):** Features a coffee table and a large sofa.
- Staircases:**
 - St 0.5m²:** Located near the kitchen/dining area.
 - St 1.0m²:** Located near the living area, with a staircase going up.
- Visitor Chair:** Two visitor chairs are shown, one near the kitchen/dining area and one near the living area.
- Level threshold and platform:** 750mm deep canopy over the entrance.

This floor plan shows a 2-bedroom apartment. The layout includes:

- Bed 1:** 12.7m², located at the bottom left, with a wardrobe and a chest of drawers.
- Bed 2:** 12.1m², located at the top left, with a wardrobe, a chest of drawers, and a desk.
- Bath:** 4.9m², located at the top right, containing a bathtub, toilet, and sink.
- Stairs:** Labeled 'St' with an area of 0.6m², located on the right side, with a staircase leading up.
- Common Areas:** A central hallway with a water tank (0.8m²) and an A.C. unit (0.8m²). There is also a 'Cul Space' (Cooking Space) indicated by a dashed circle.
- Other Features:** Multiple wardrobes, desks, and chests of drawers are distributed throughout the bedrooms and common areas.

 **KEY PLAN**





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Project

Hillbourne Housing Scheme

Client

Poolle Housing Partnership

P01

12/04/2024 11:49

Planning Issue

Rev

Date

By

PL

Note

Creating Title

2B4P House Type B2.2 Standard Roof

Project Number

Drawing Number

Revision

190090-1463

P01

12/04/24

Drawn

HA

Checked

Status

PLANNING

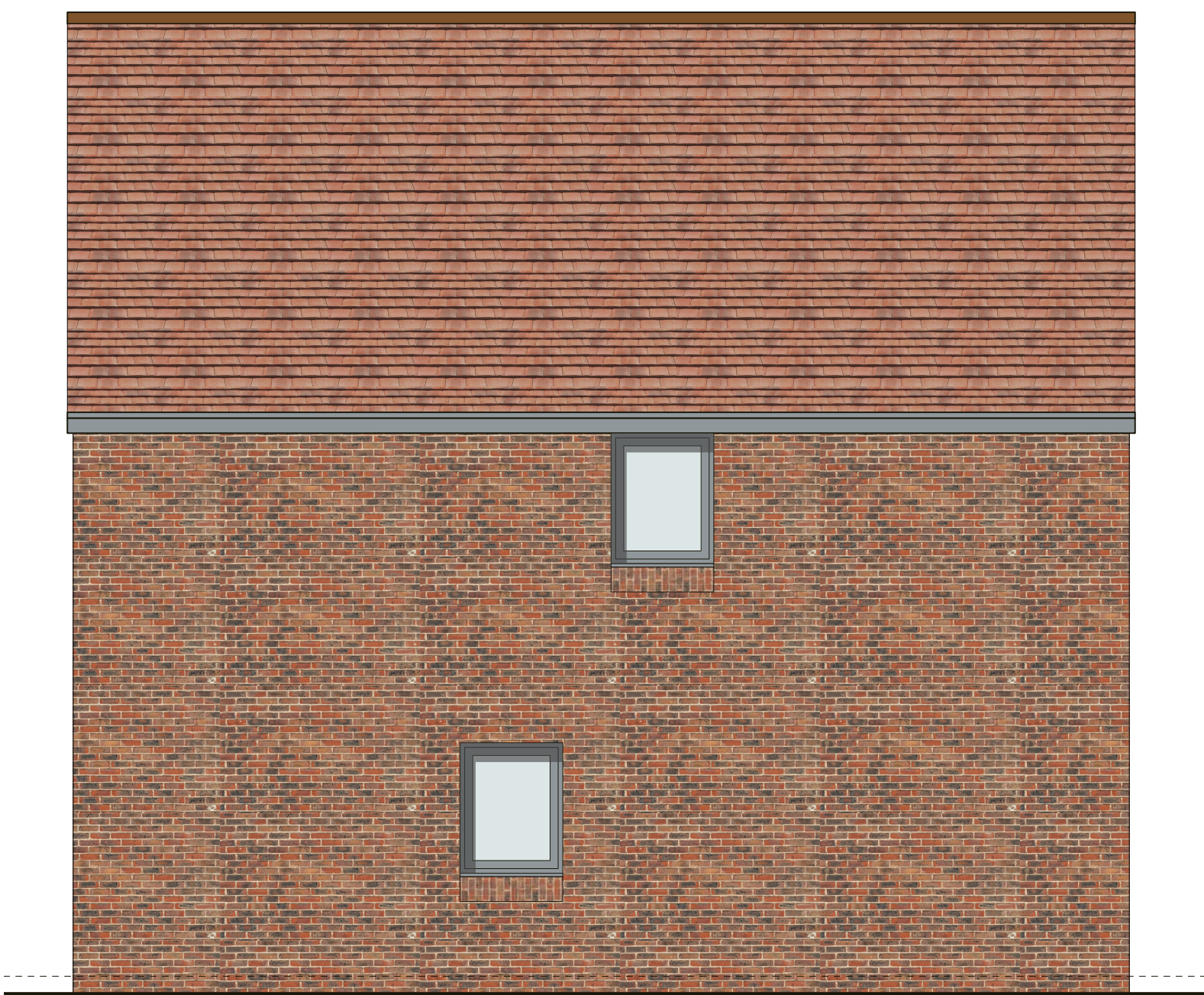
Public Housing Partnership				190090-1463			P01	
Glentworth Court, Lime Kiln Close Stoke Gifford, Bristol BS34 8SR								
Scale	Paper Size	Filename	Date	Drawn	Checked	Status		
1:50	A1	190090 MASTER - 2B4P TYPE B.vwx	12/04/21	HA	LB	PLANNING		
+44 (0)117 931 2602 www.kendallings.co.uk			Check all dimensions and heights on site.					
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TYPE B2.3 - GABLE ROOF

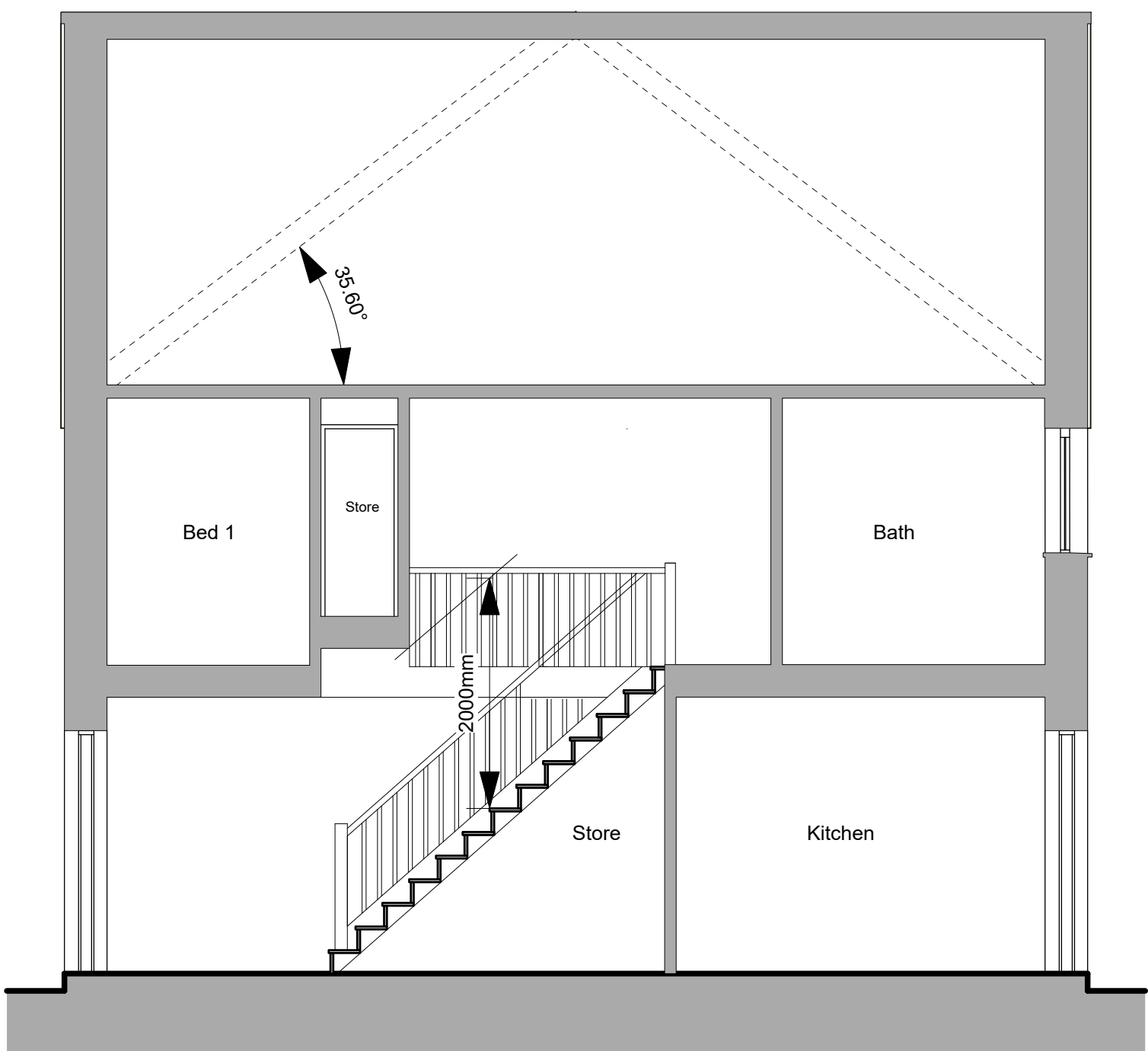


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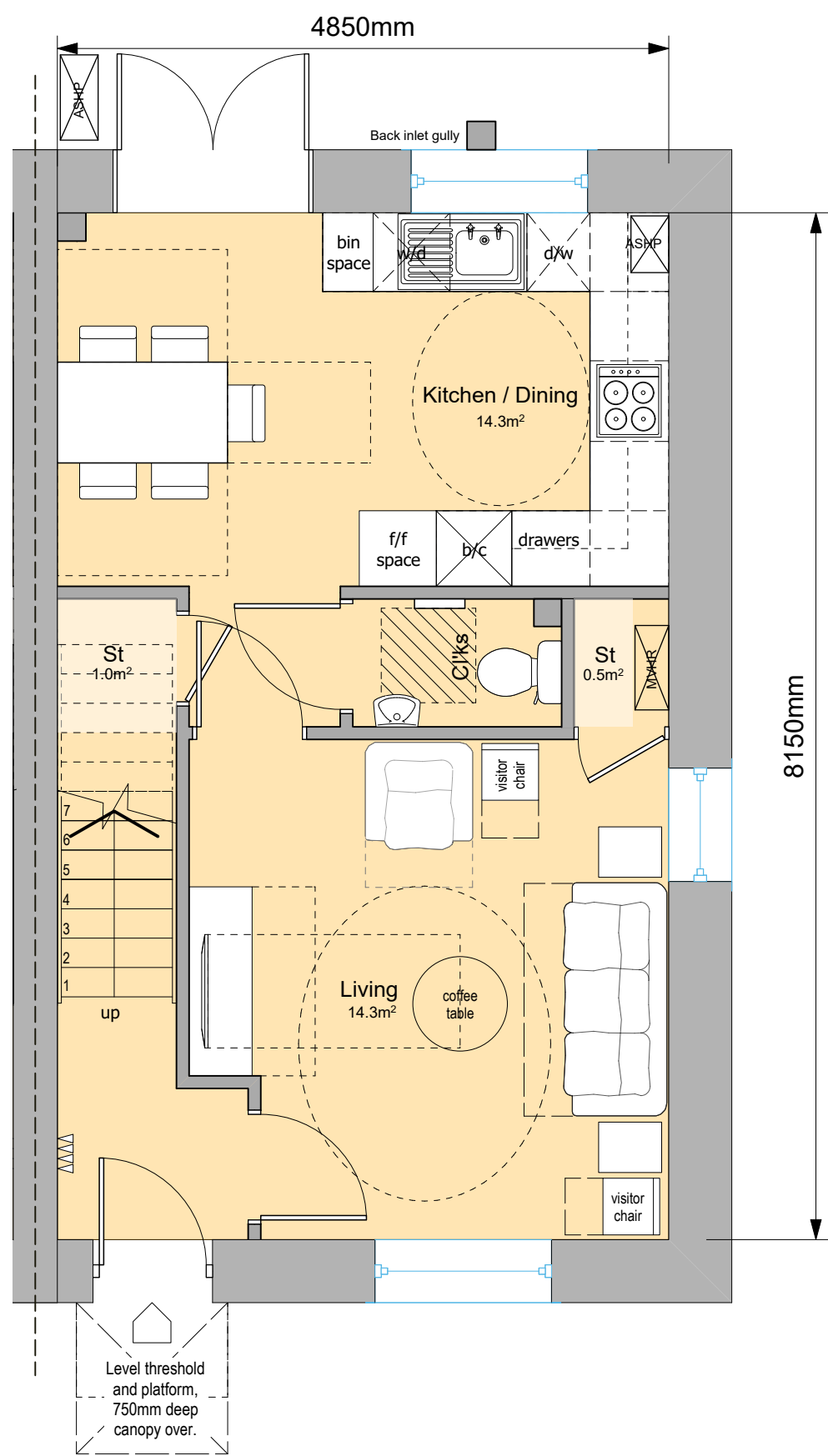
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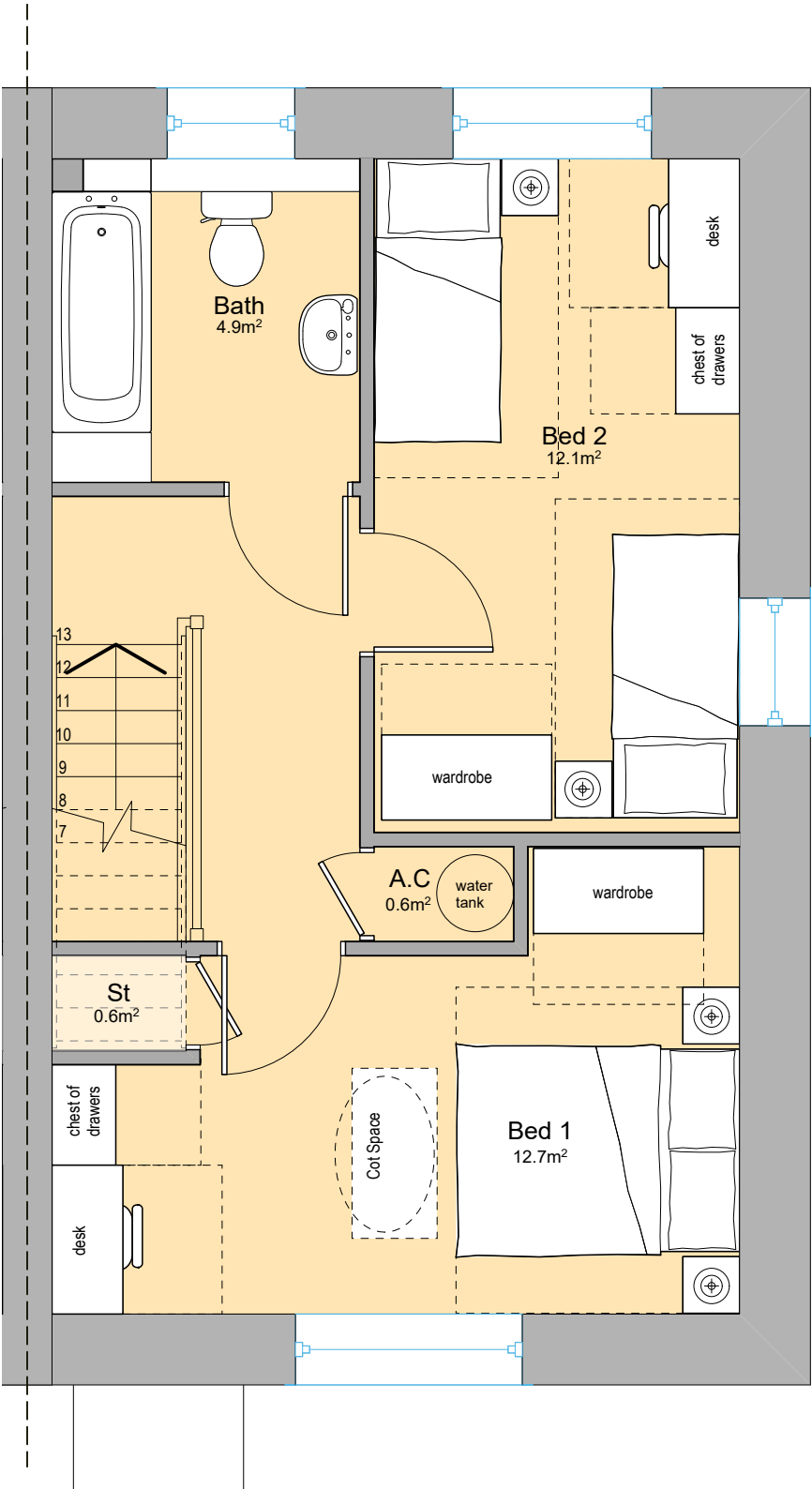
SIDE ELEVATION



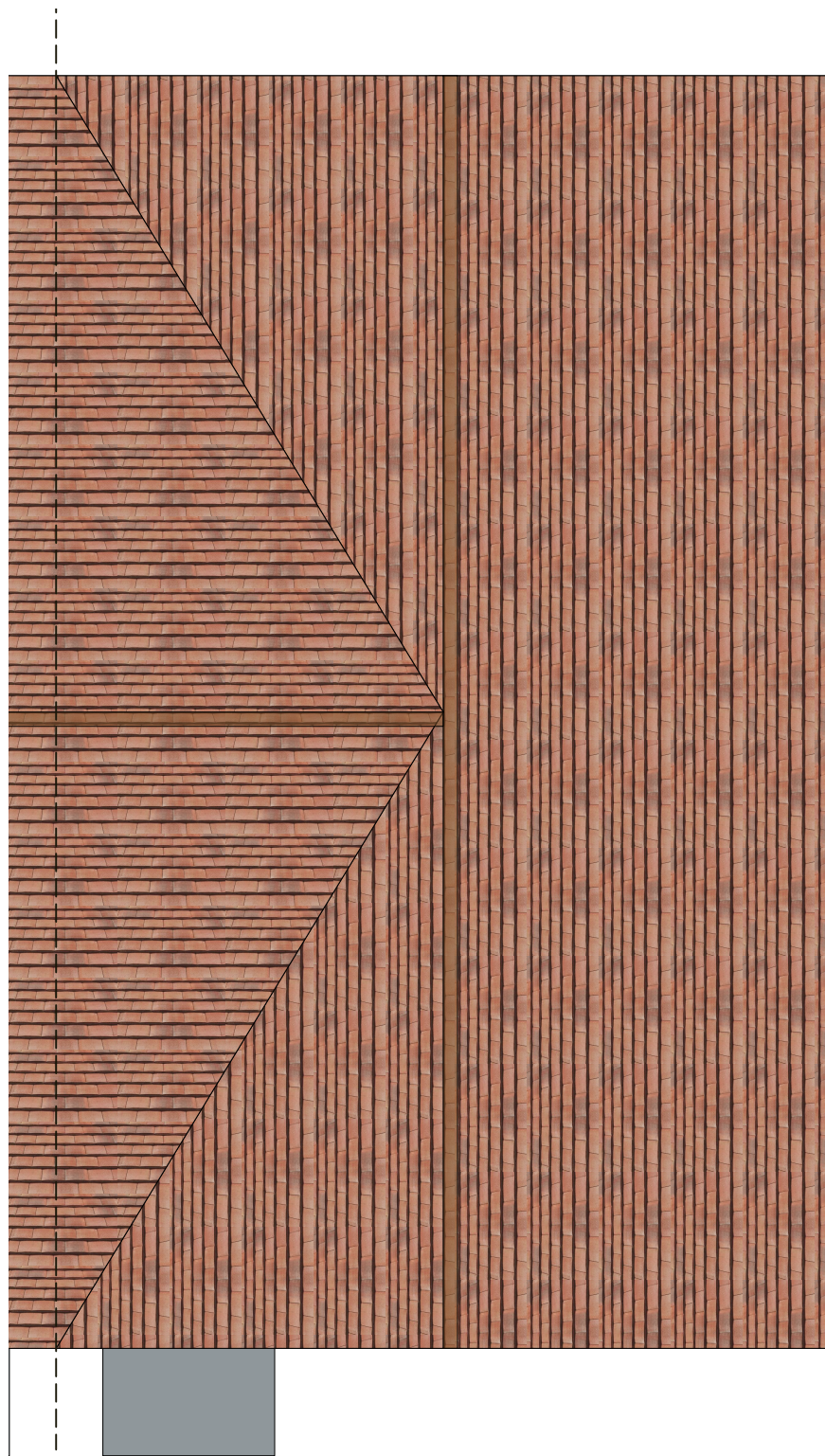
SECTION



GROUND FLOOR PLAN - TYPE B2
Gross internal area: 39.53m²
Total internal area: 79.05m²



FIRST FLOOR PLAN - TYPE B2
Gross internal area: 39.53m²



ROOF PLAN - TYPE B2 - TERRACE

MATERIALS KEY:

External Walls:

- WL.1 - Dark red multi blend brick
- WL.2 - Dark red multi blend brick Vertical Course
- WL.3 - Dark red multi blend brick Soldier Course
- WL.4 - Light red multi blend brick Soldier Course

External Windows:

- WD.1 - Grey aluminium & timber composite

External Doors:

- DR.1 - Grey SBD compliant composite doors

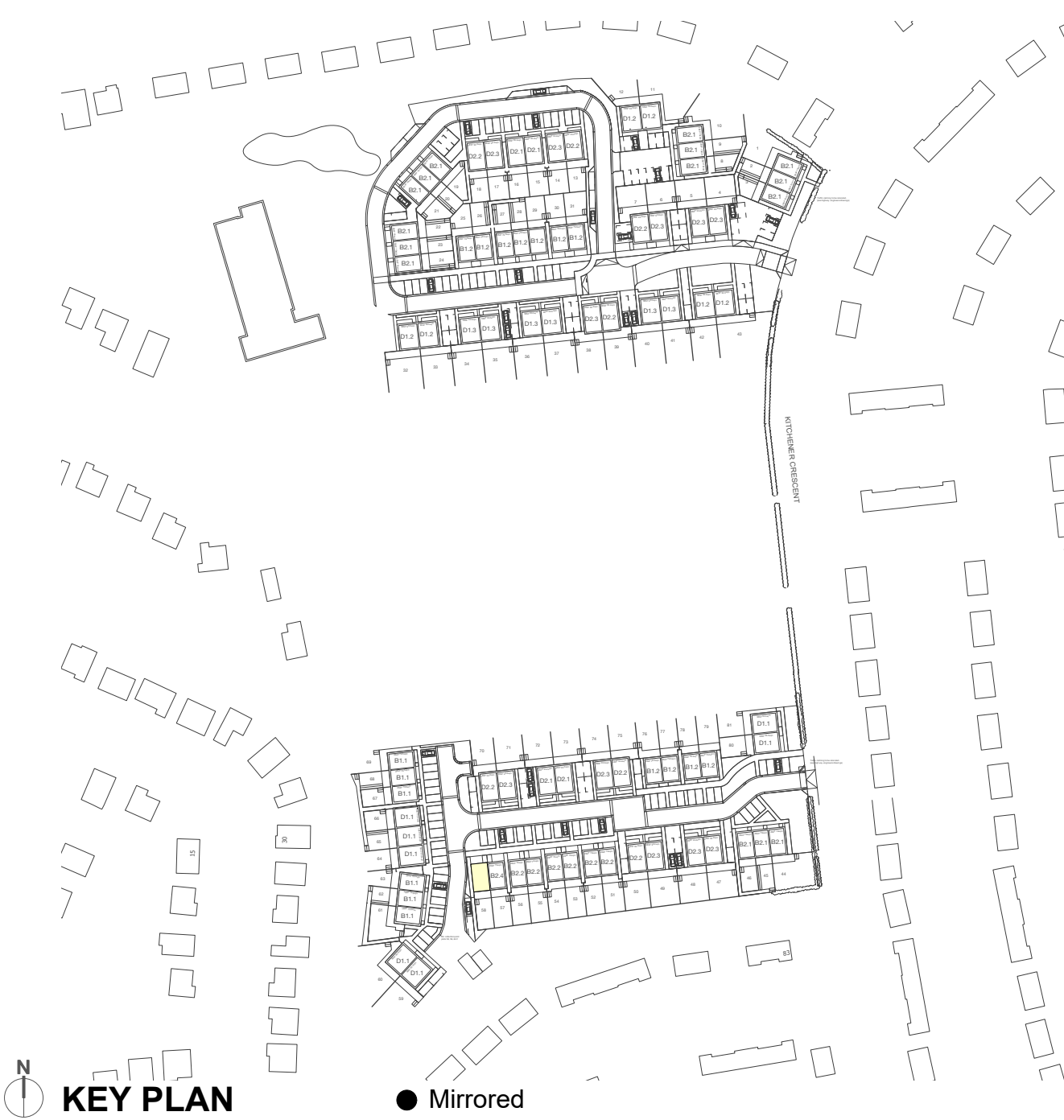
Roof:

- RF.1 - Red tiles
- RF.2 - Grey tiles
- RF.3 - Grey GRP canopy

Rainwater goods:

- RW.1 - Grey PVCu

PLOTS : 58



KEY PLAN



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Project
Hillbourne Housing Scheme
Client
Poole Housing Partnership

Scale
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Paper Size
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Filename
190090 MASTER - 2B4P TYPE B.vwx
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P10 12/04/2021 HR LB Planning Issue

Rev Date By Ap Note

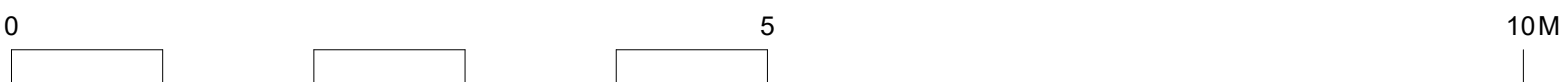
Drawing Title
2B4P House Type B2.3
Gable Roof

Project Number
190090-1464
Drawing Number
P10

STORAGE AREAS

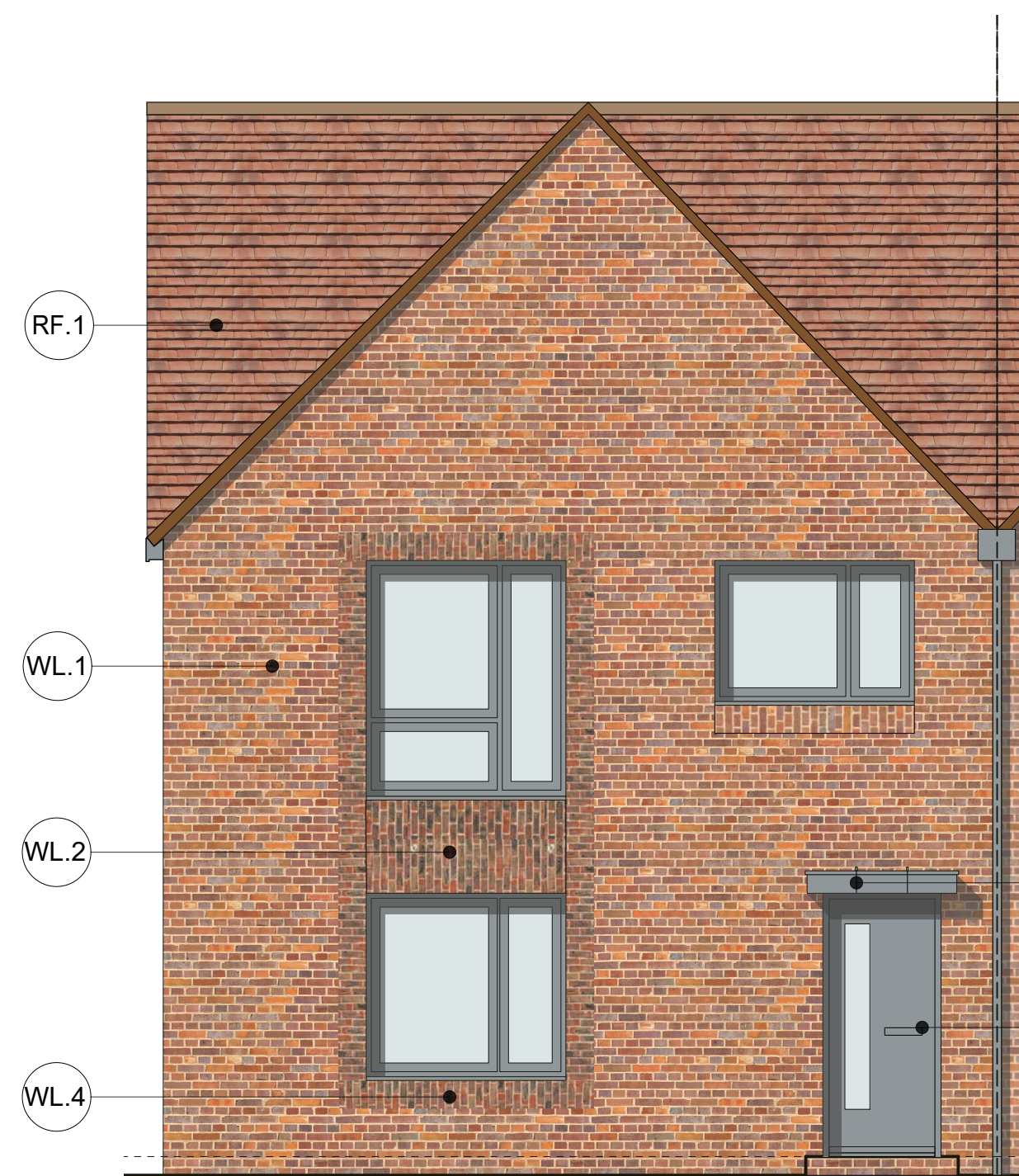
NDSS: 2.0m²

Provided: 2.1m²

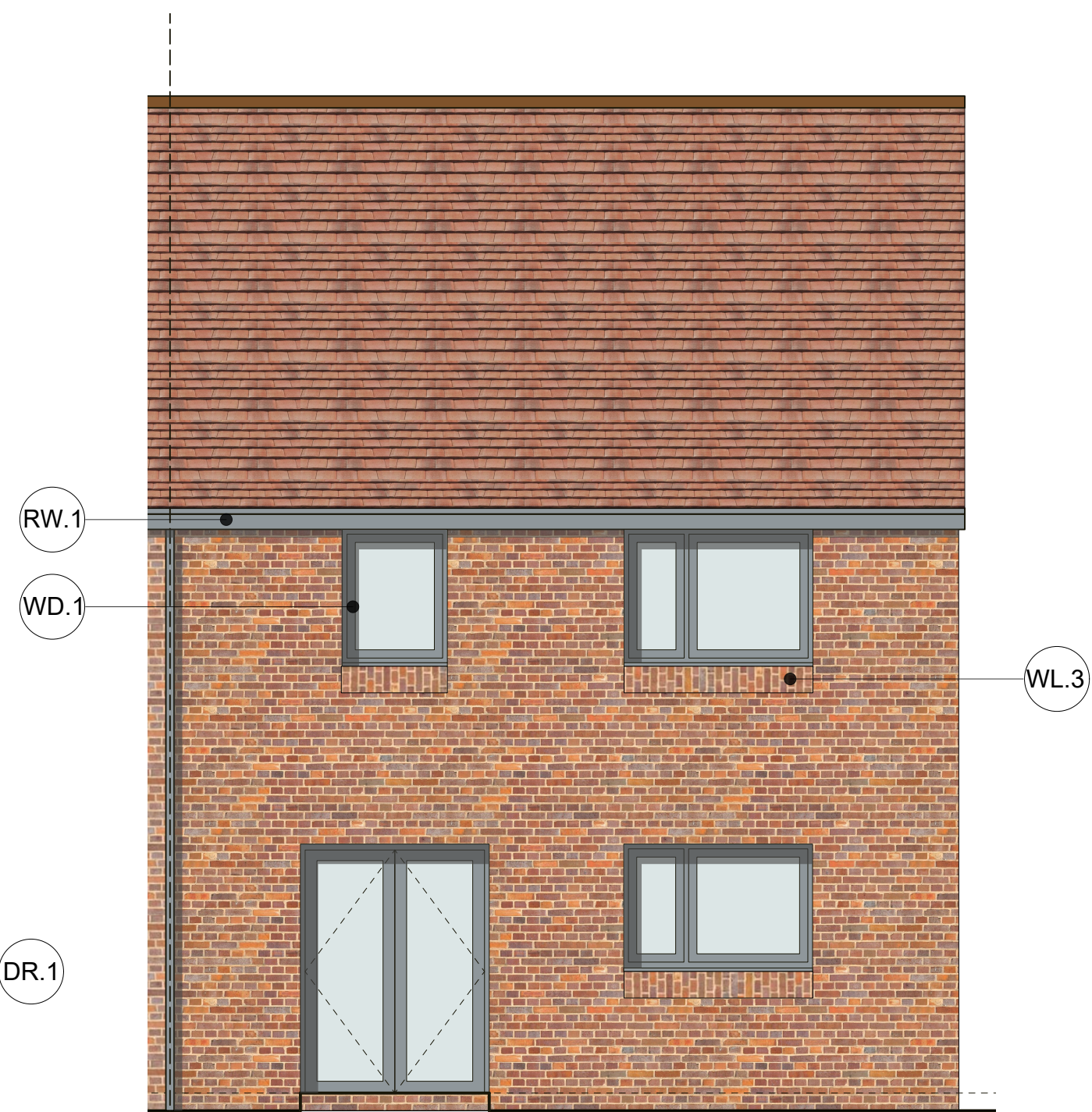


Scale Bar 1:50

TYPE D1.1 - GABLE ROOF



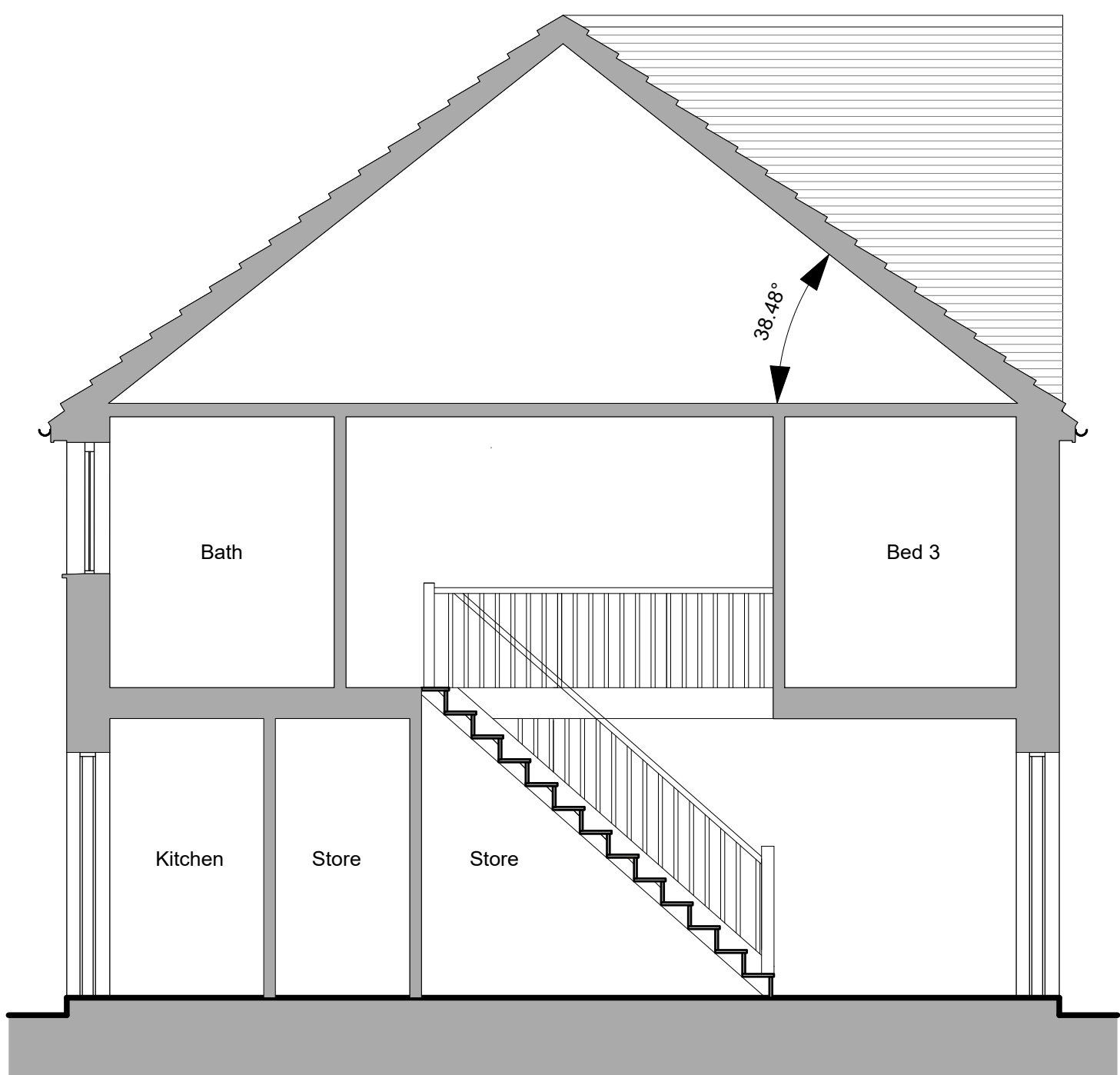
FRONT ELEVATION



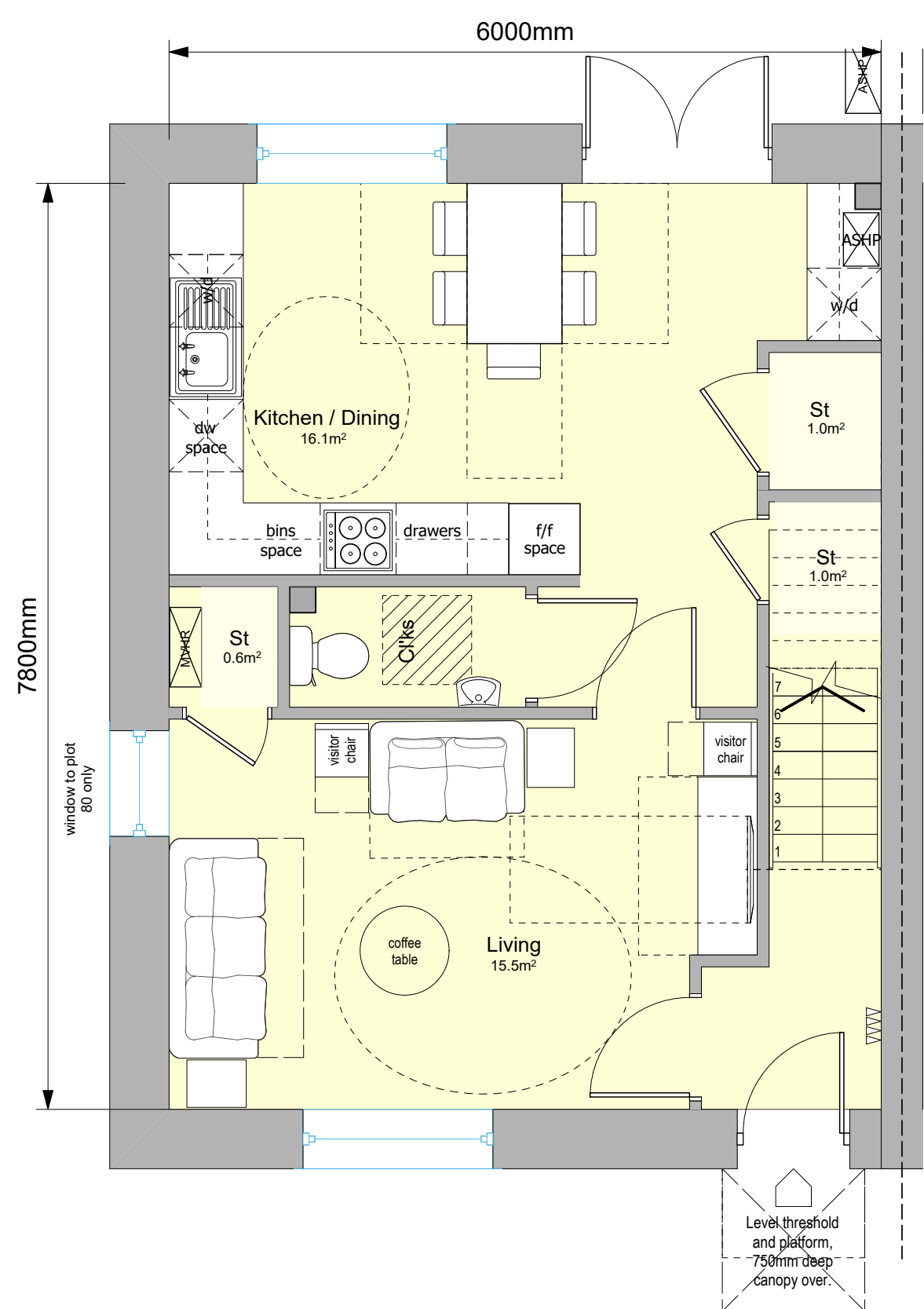
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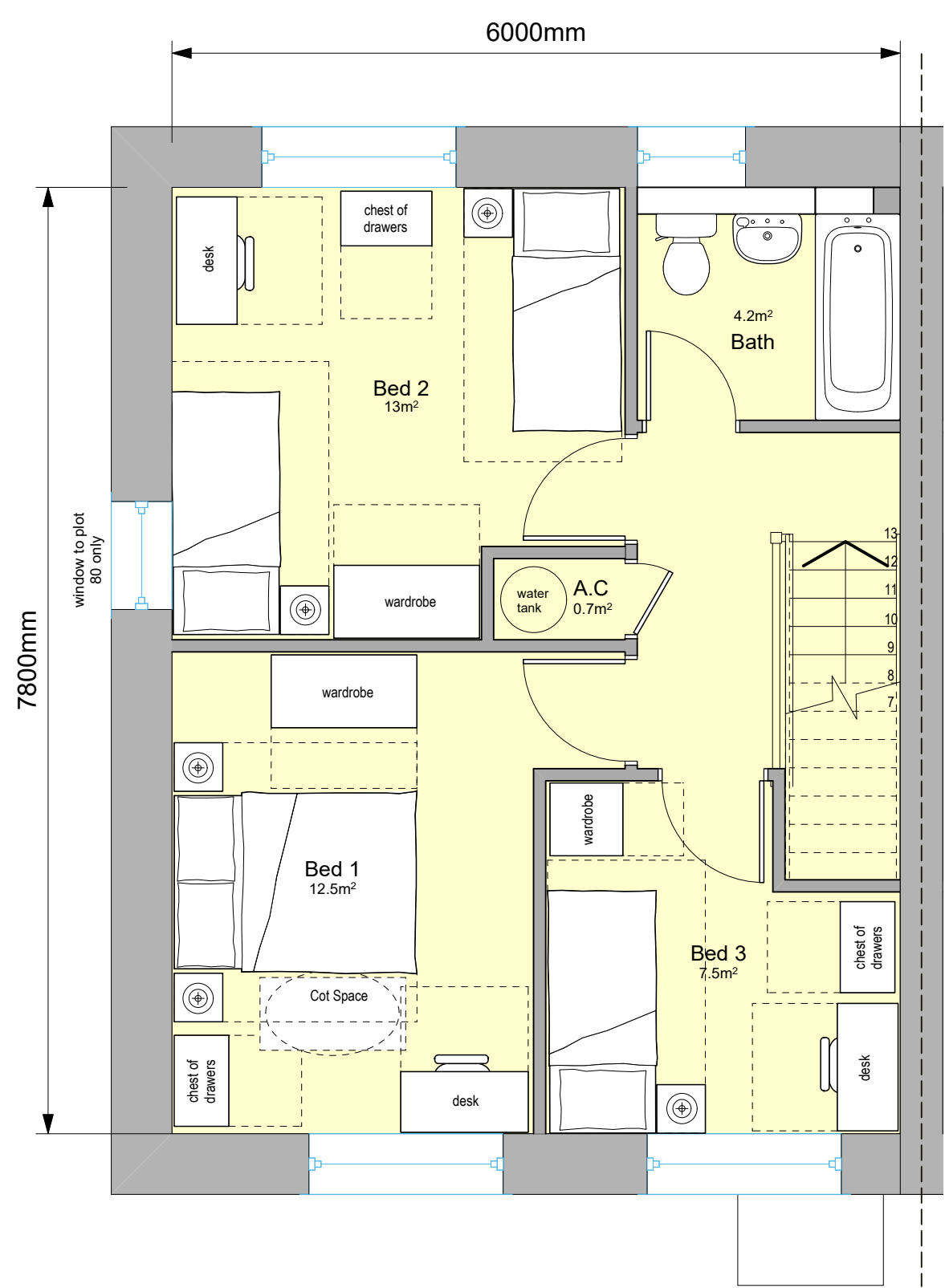
SIDE ELEVATION



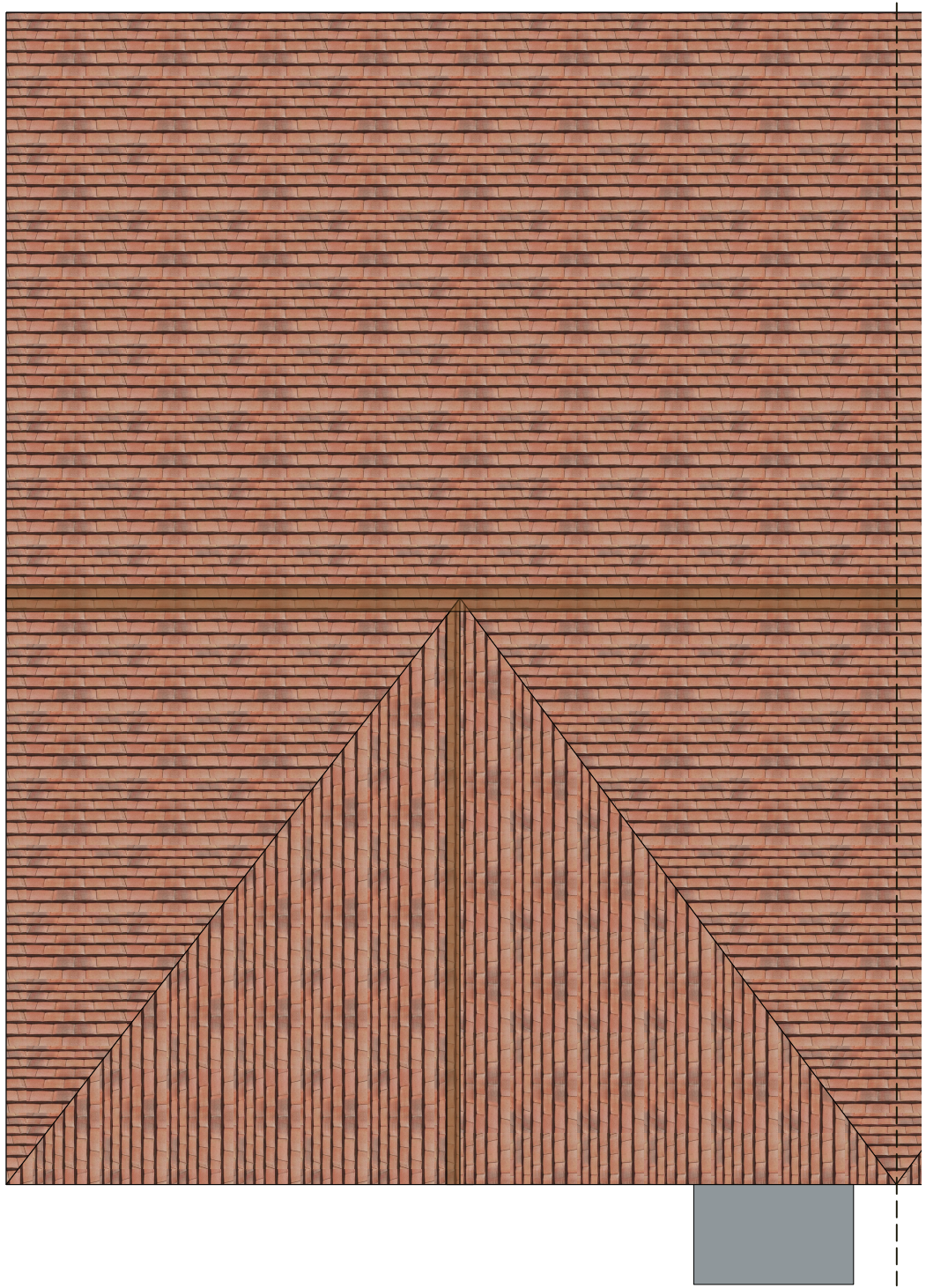
SECTION



GROUND FLOOR PLAN - TYPE D1
Gross internal area: 46.8m²
Total internal area: 93.6m²



FIRST FLOOR PLAN - TYPE D1
Gross internal area: 46.8m²



ROOF PLAN - TYPE D1 - STANDARD ROOF

PLOTS : 59, 60, 64, 65, 66, 80, 81

MATERIALS KEY:

External Walls:

- WL.1 - Light red multi blend brick
- WL.2 - Dark red multi blend brick
- WL.3 - Light red multi blend brick
- WL.4 - Dark red multi blend brick

External Windows:

- WD.1 - Grey aluminium & timber composite

External Doors:

- DR.1 - Grey SBD compliant composite doors

Roof:

- RF.1 - Red tiles
- RF.2 - Grey tiles
- RF.3 - Grey GRP canopy

Rainwater goods:

- RW.1 - Grey PVCu



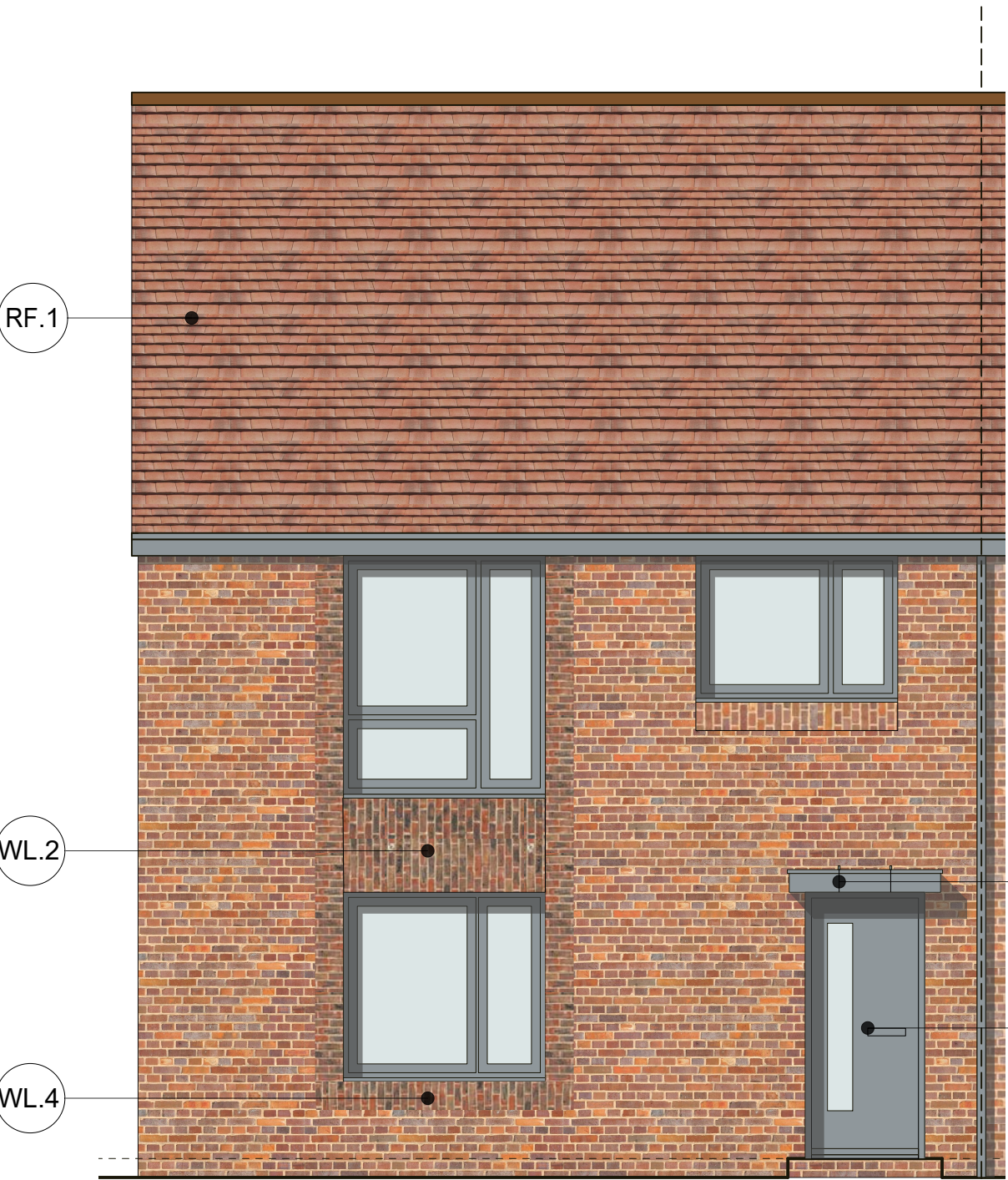
KEY PLAN
● Mirrored

STORAGE AREAS
NDSS: 2.5m²
Provided: 2.8m²

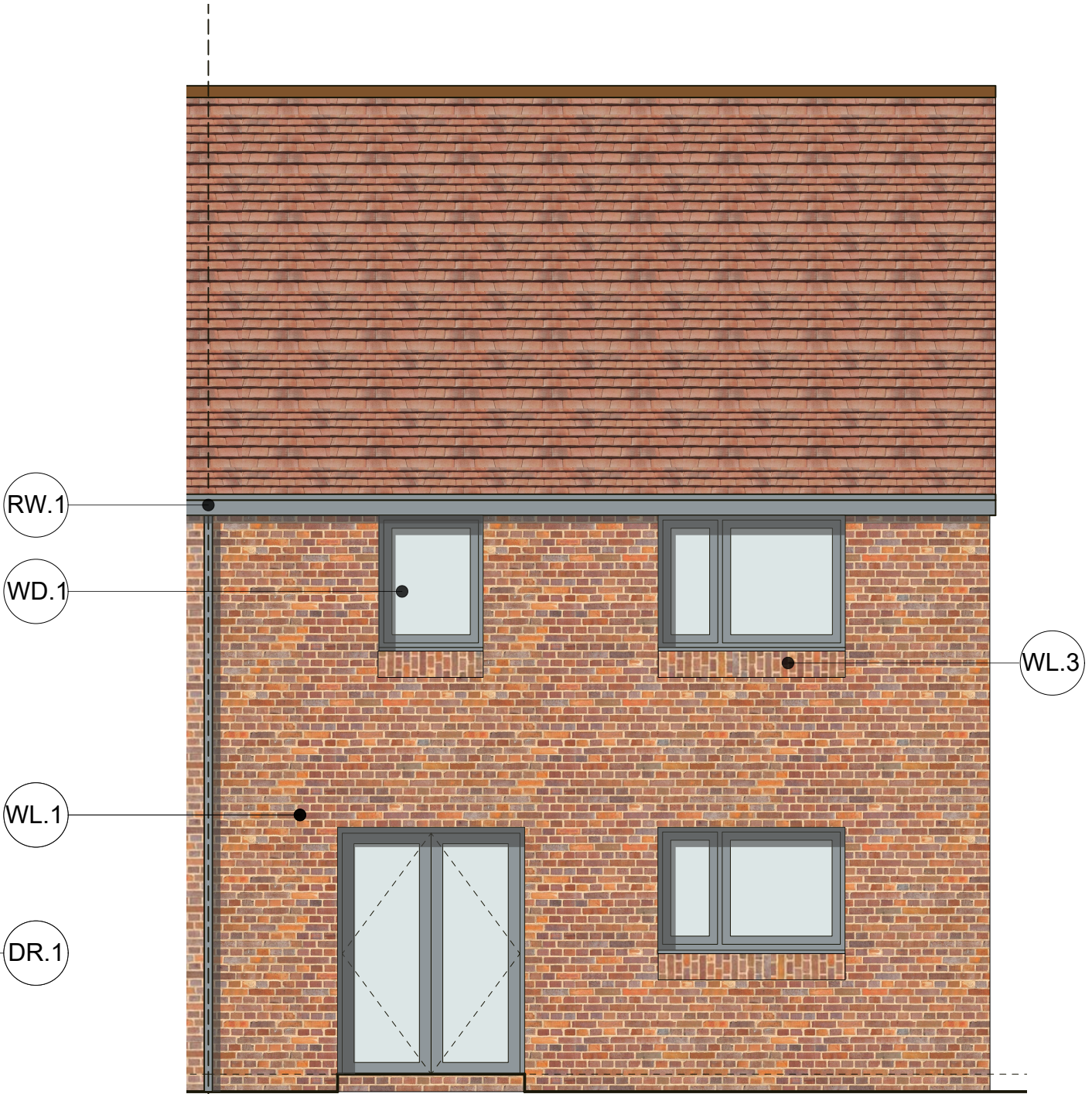


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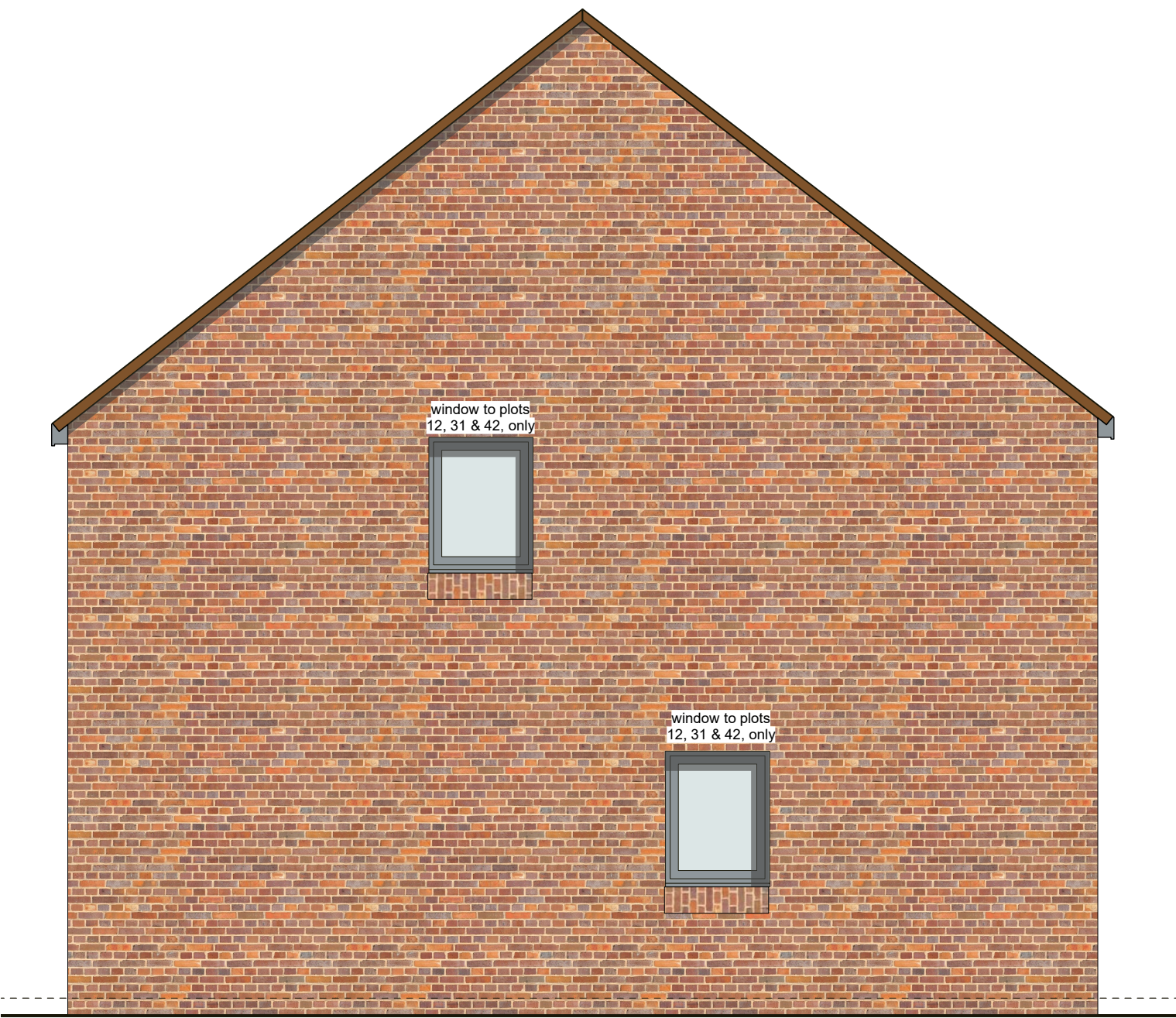
TYPE D1.2 - STANDARD ROOF



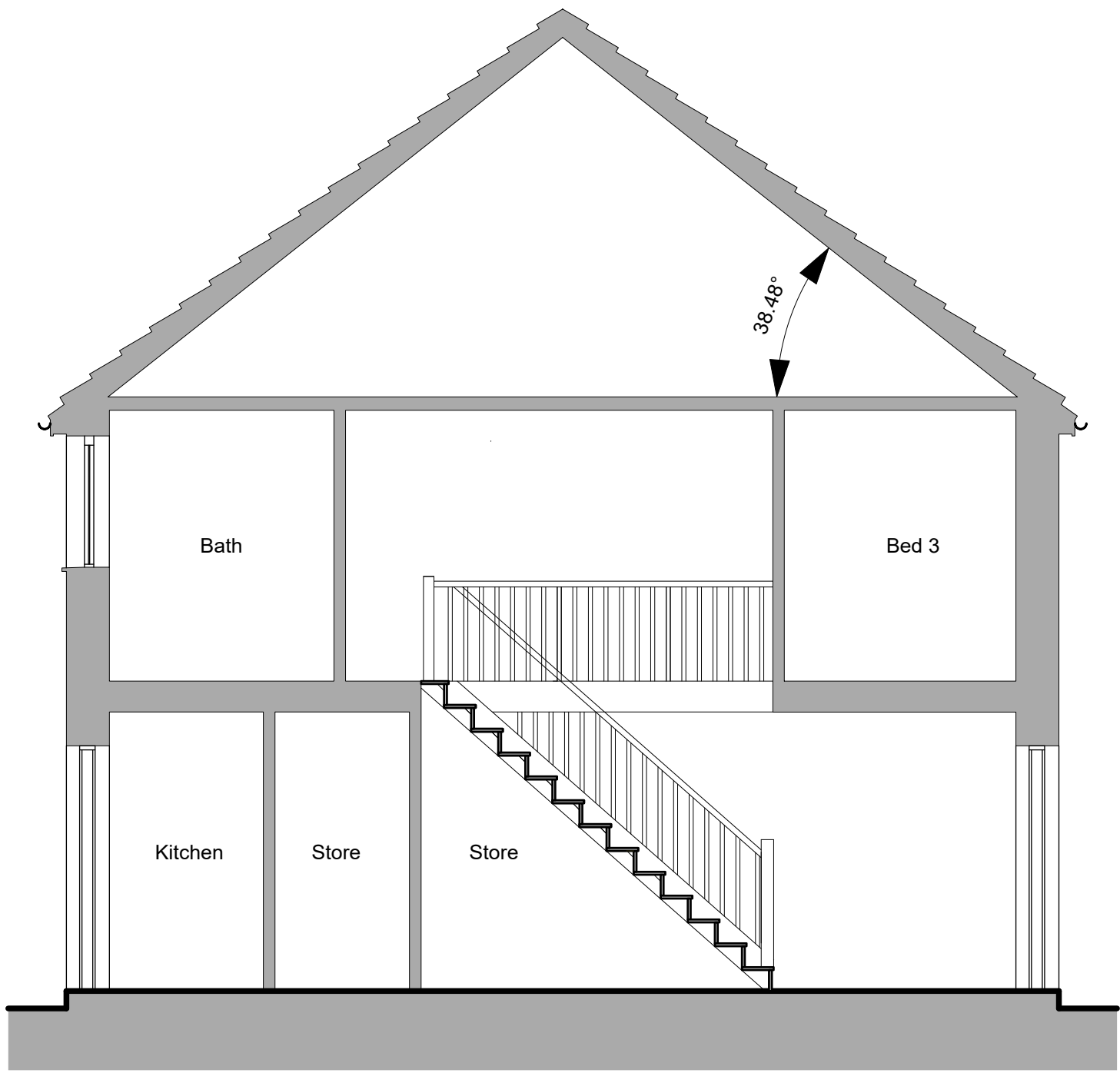
FRONT ELEVATION



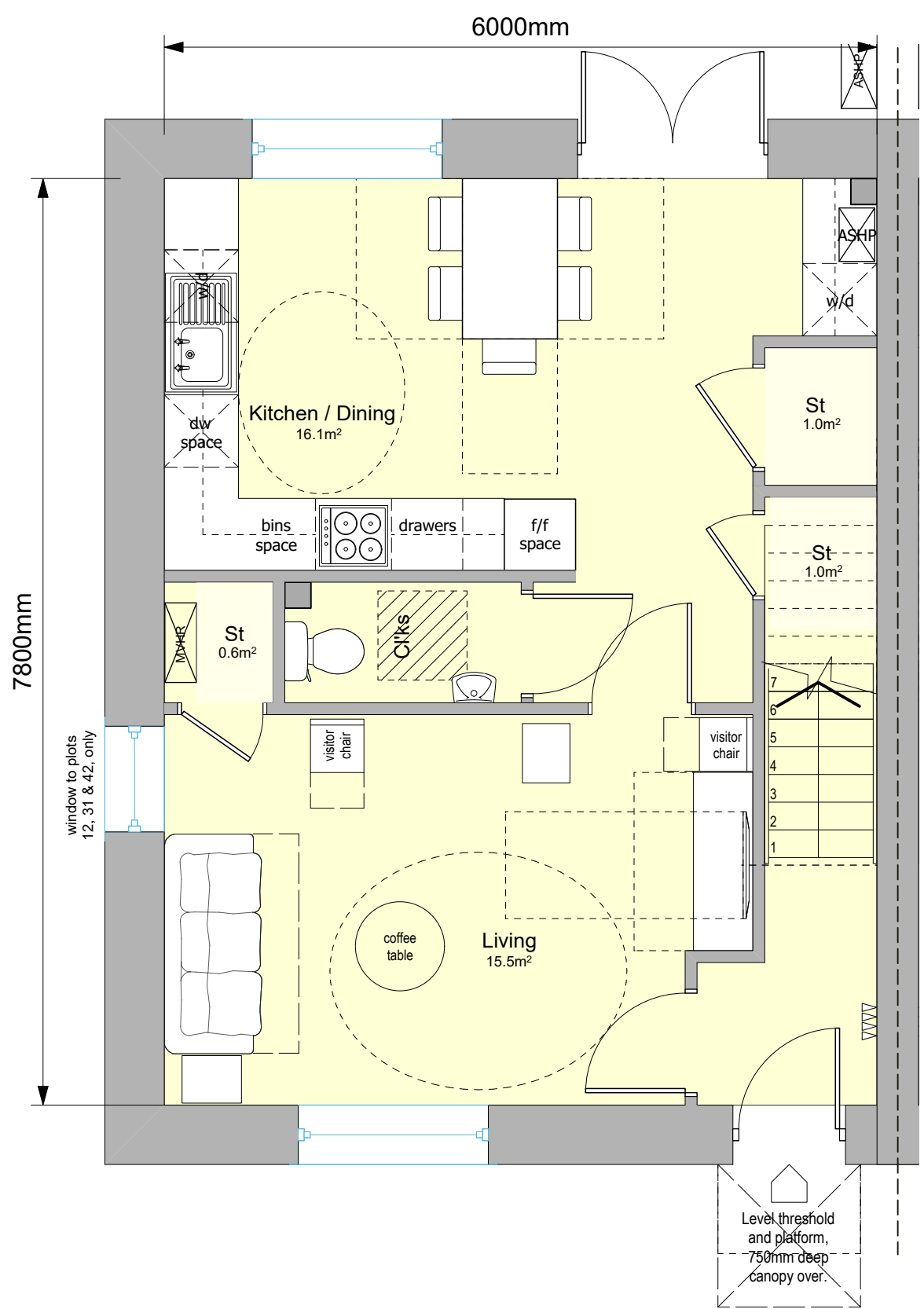
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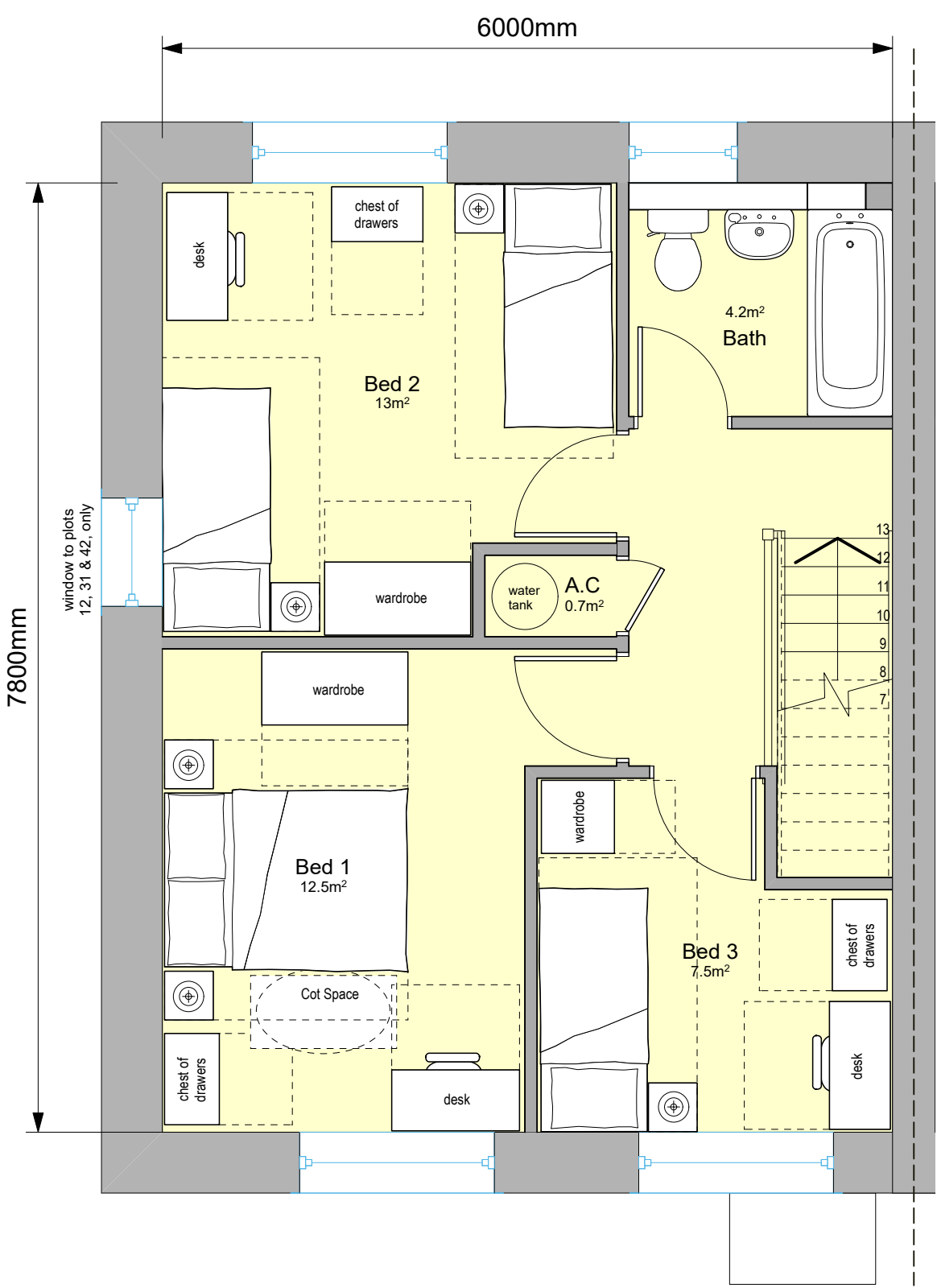
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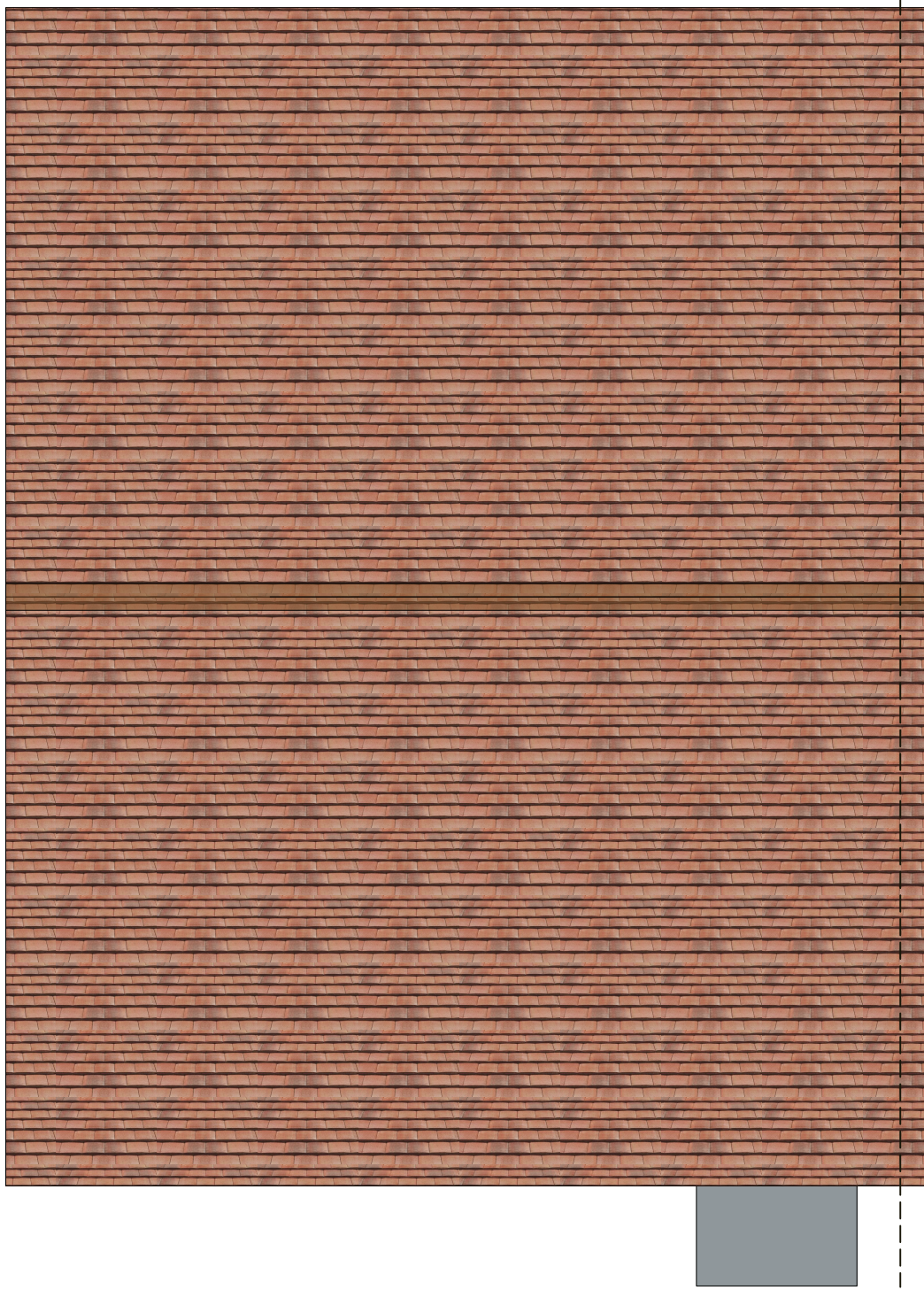
SECTION



GROUND FLOOR PLAN - TYPE D1
Gross internal area: 46.8m²
Total internal area: 93.6m²



FIRST FLOOR PLAN - TYPE D1
Gross internal area: 46.8m²



ROOF PLAN - TYPE D1 - STANDARD ROOF

MATERIALS KEY:

External Walls:

- WL.1 - Light red multi blend brick
- WL.2 - Dark red multi blend brick
- Vertical Course
- WL.3 - Light red multi blend brick
- Soldier Course
- WL.4 - Dark red multi blend brick
- Soldier Course

External Windows:

- WD.1 - Grey aluminium & timber composite

External Doors:

- DR.1 - Grey SBD compliant composite doors

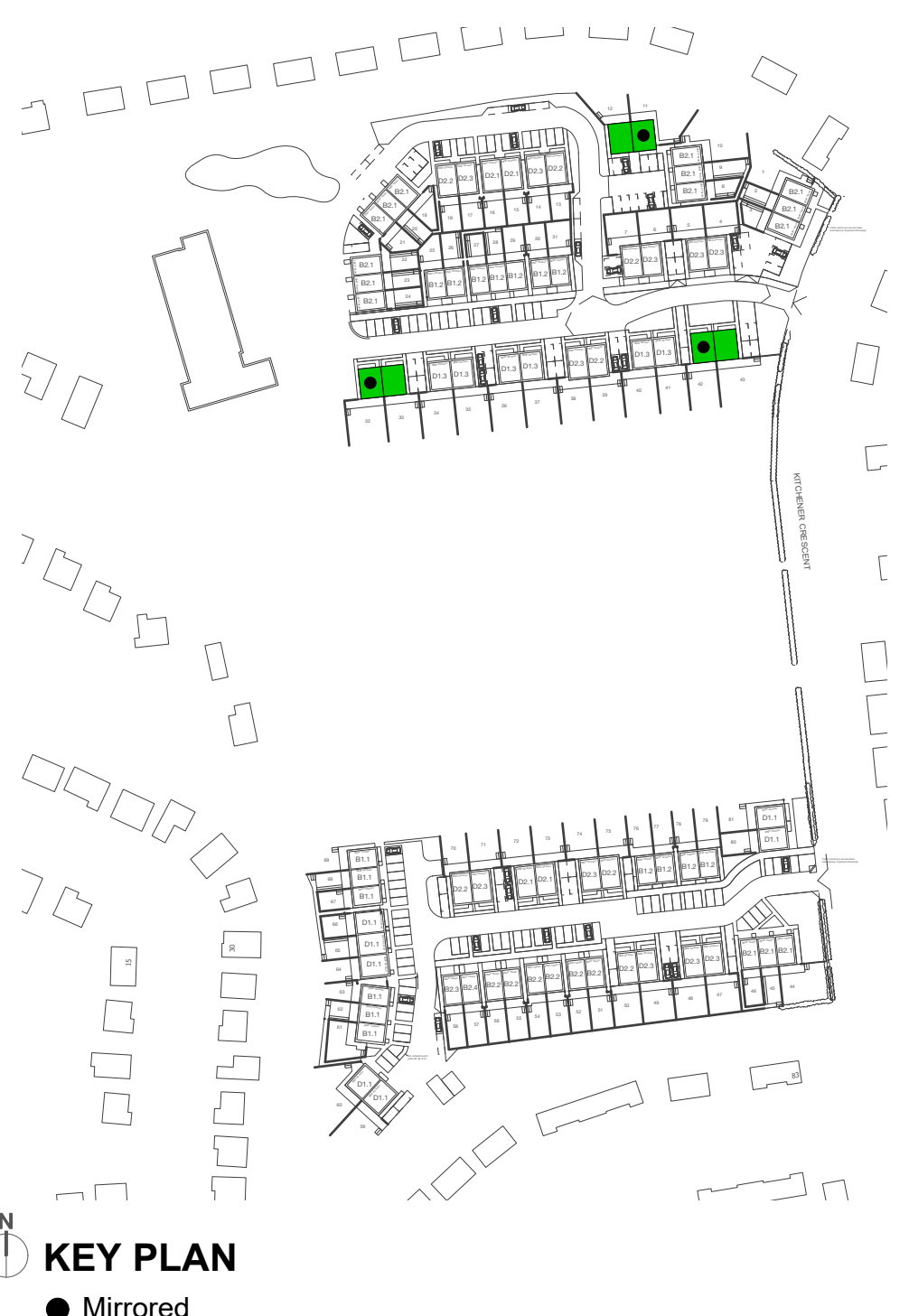
Roof:

- RF.1 - Red tiles
- RF.2 - Grey tiles
- RF.3 - Grey GRP canopy

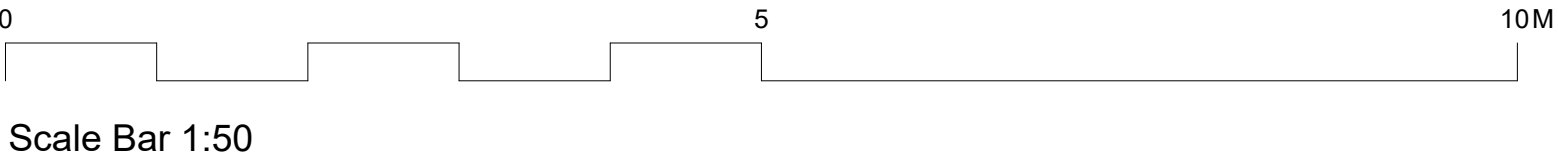
Rainwater goods:

- RW.1 - Grey PVCu

PLOTS : 11, 12, 32, 33, 42, 43



KEY PLAN
● Mirrored



STORAGE AREAS
NDSS: 2.5m²
Provided: 2.8m²

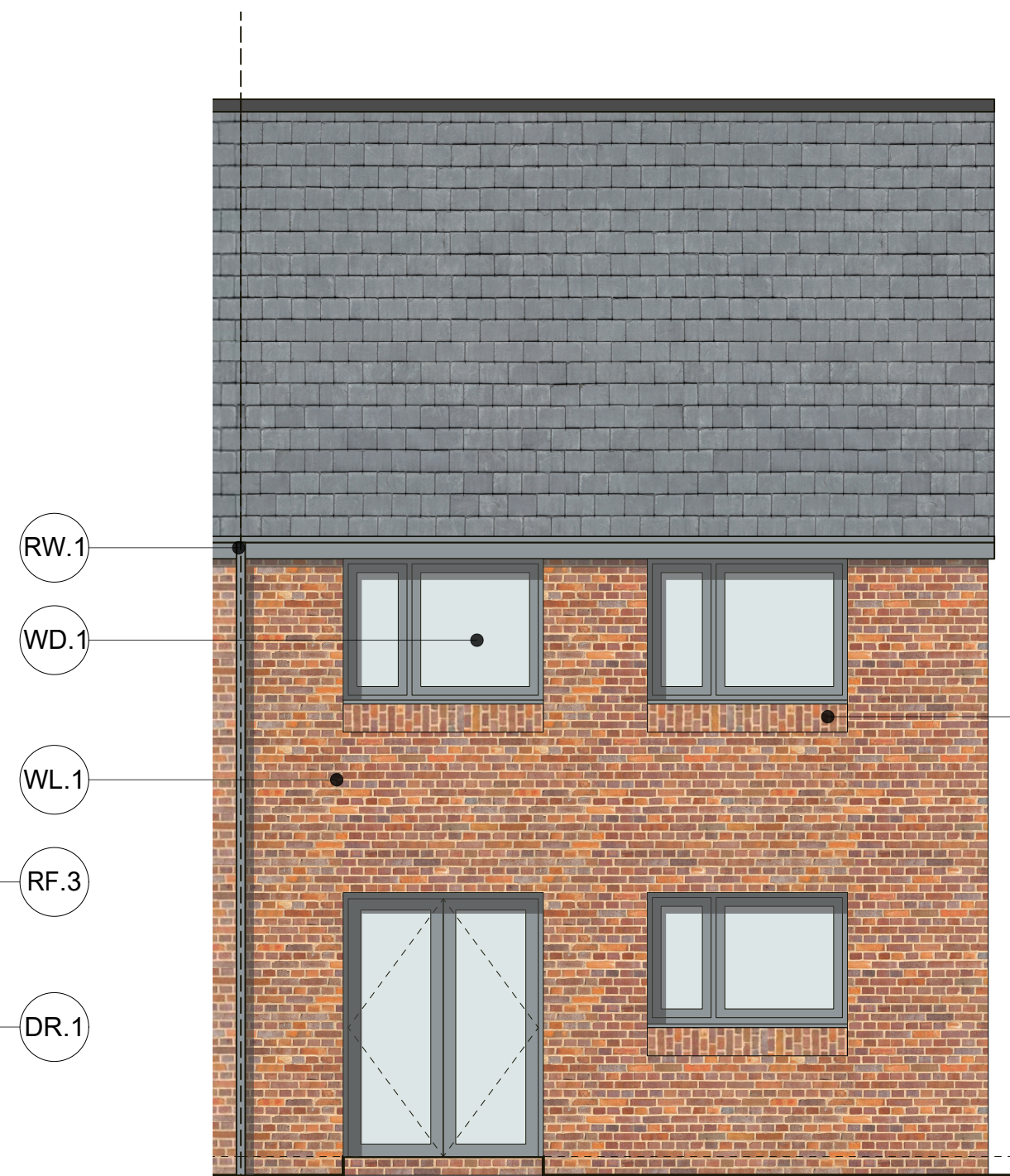


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Hillbourne Housing Scheme		Rev Date By Ap Note	
Client		Drawing Title	
Poole Housing Partnership		3BSP House Type D1.2 Standard Roof	
Scale		Drawing Number	
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Paper Size		Revision	
A1		P10	
Filename		Date	
190090 MASTER - 3BSP TYPE D .vwx		12/04/21	
Author		Drawn	
HA		LB	
Checked		Status	
PLANNING		Check all dimensions and levels on site	
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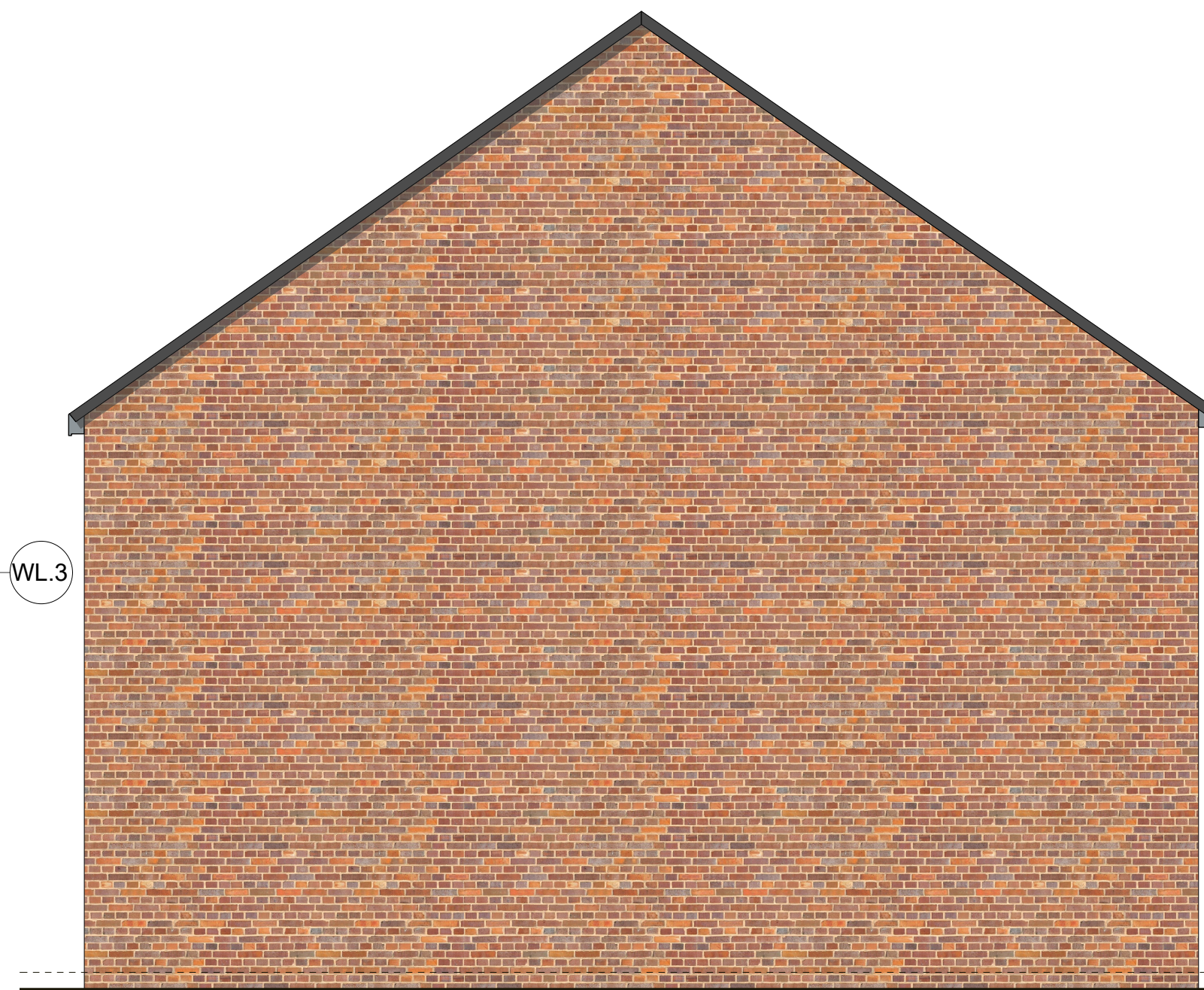
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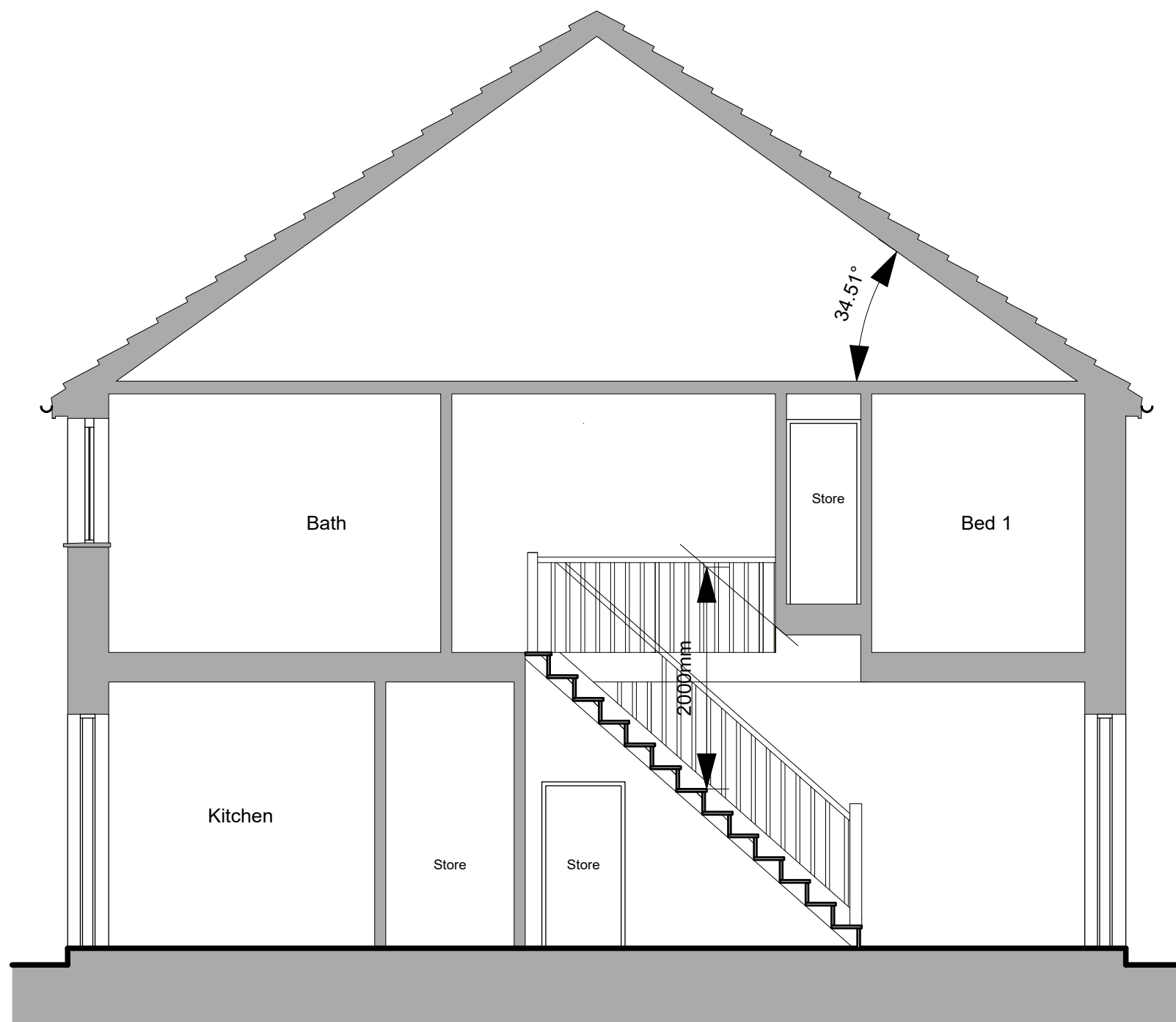
FRONT ELEVATION



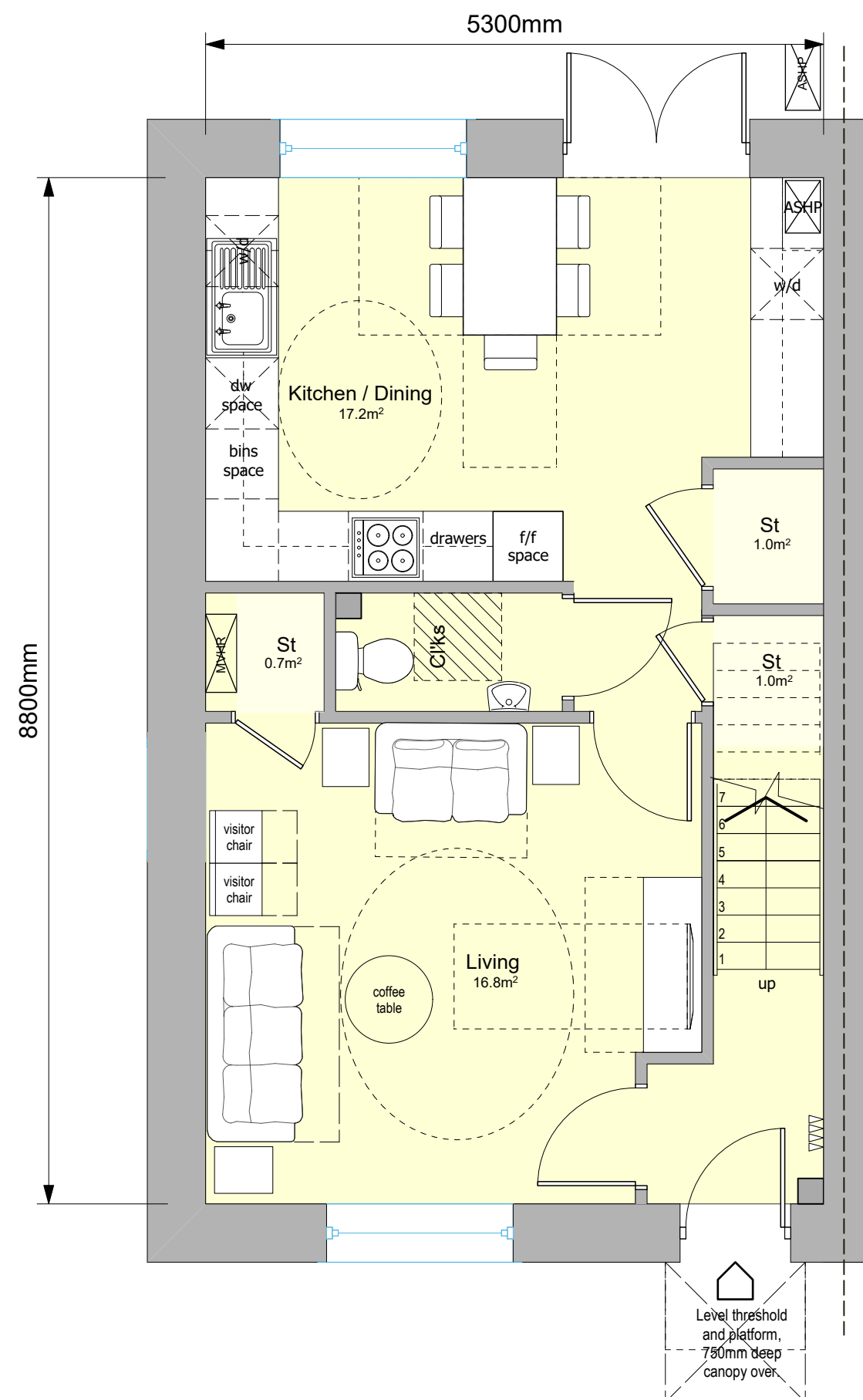
REAR ELEVATION



SIDE ELEVATION



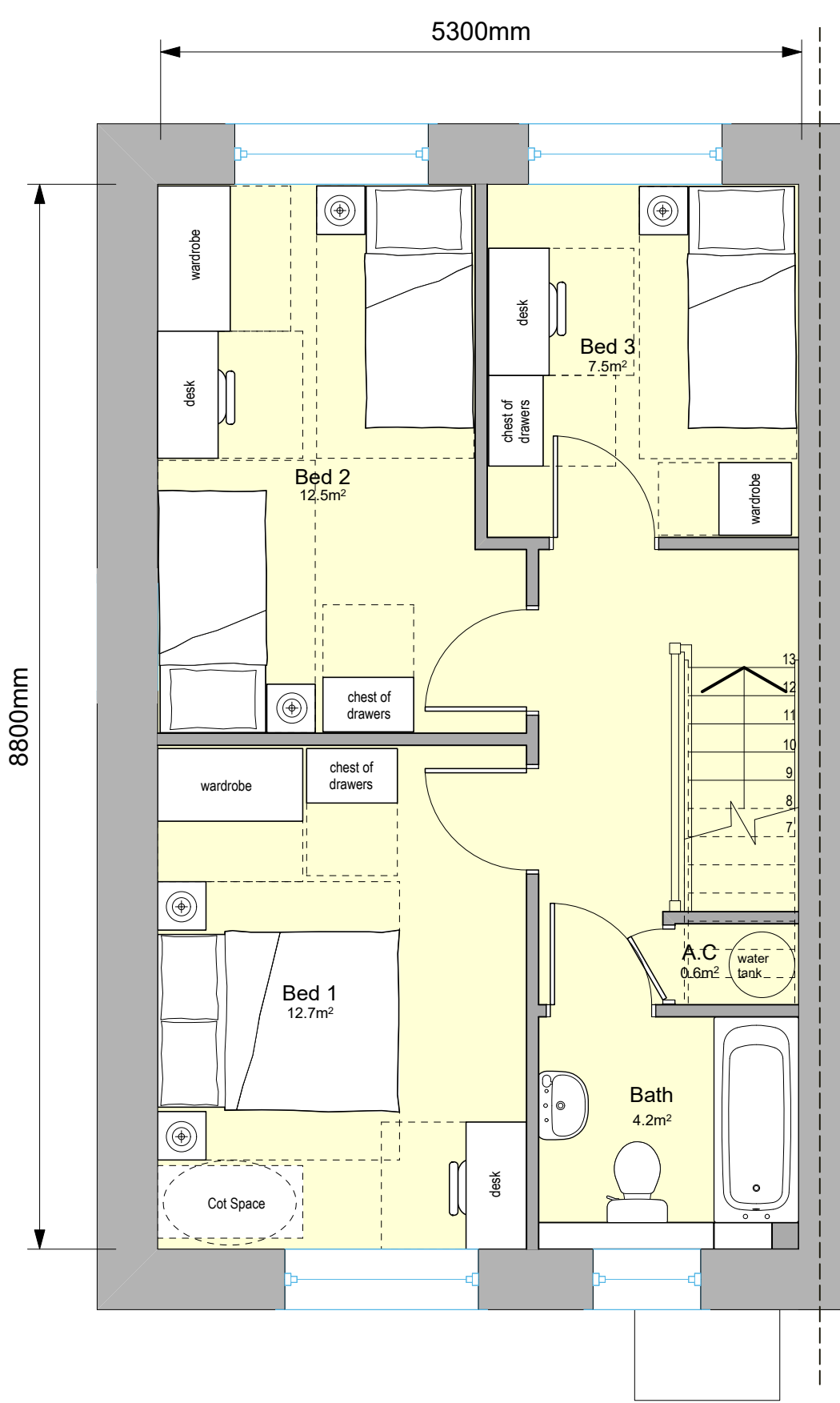
SECTION



GROUND FLOOR PLAN - TYPE D2

Gross internal area: 46.64m²

Total internal area: 93.28m²



FIRST FLOOR PLAN - TYPE D2

Gross internal area: 46.64m²



ROOF PLAN - TYPE D2

PLOTS : 15, 16, 72, 73

MATERIALS KEY:

External Walls:

- WL.1 - Light red multi blend brick
- WL.2 - Dark red multi blend brick
- WL.3 - Light red multi blend brick
- WL.4 - Dark red multi blend brick

External Windows:

- WD.1 - Grey aluminium & timber composite

External Doors:

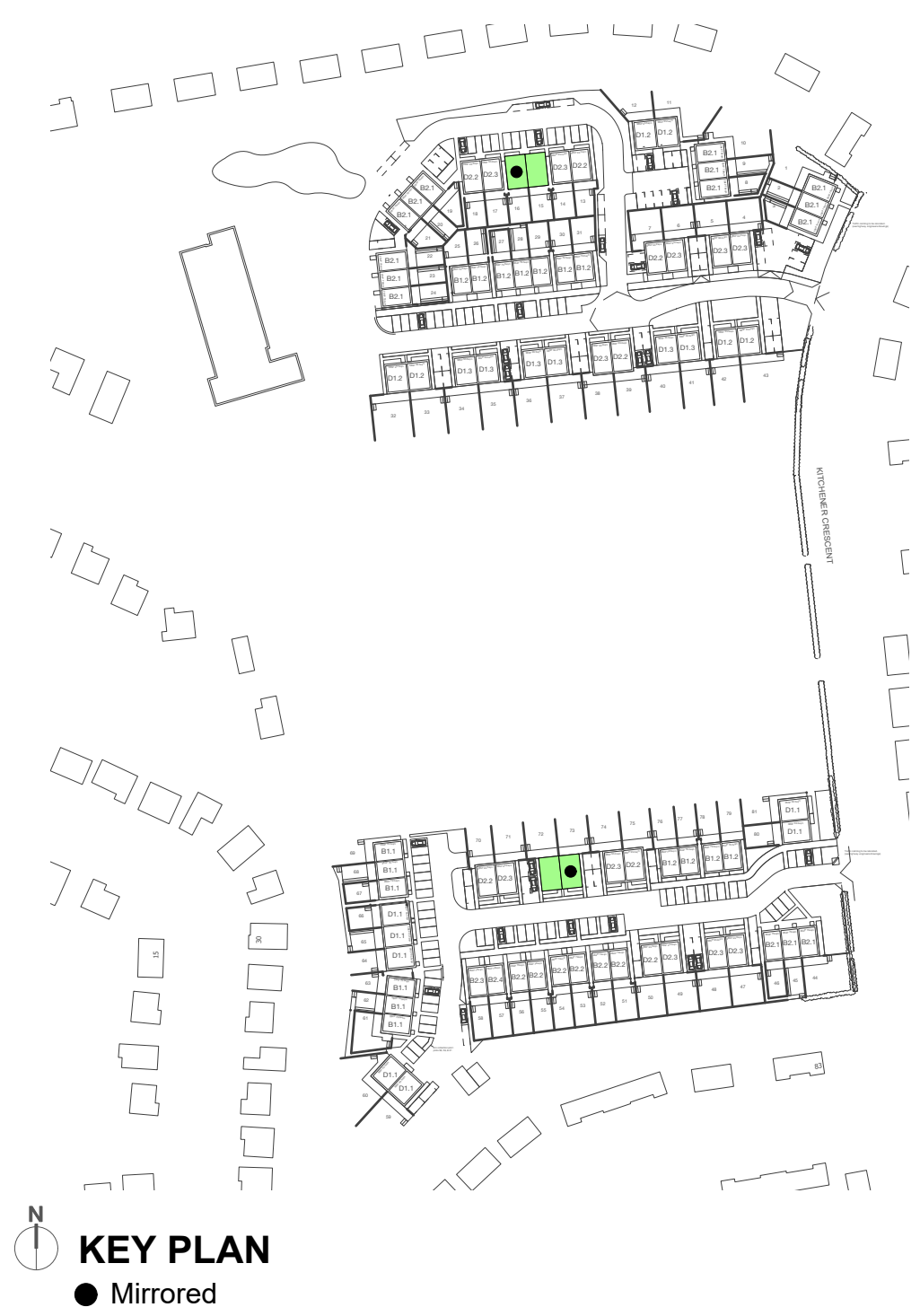
- DR.1 - Grey SBD compliant composite doors

Roof:

- RF.1 - Red tiles
- RF.2 - Grey tiles
- RF.3 - Grey GRP canopy

Rainwater goods:

- RW.1 - Grey PVCu



KEY PLAN
● Mirrored

STORAGE AREAS

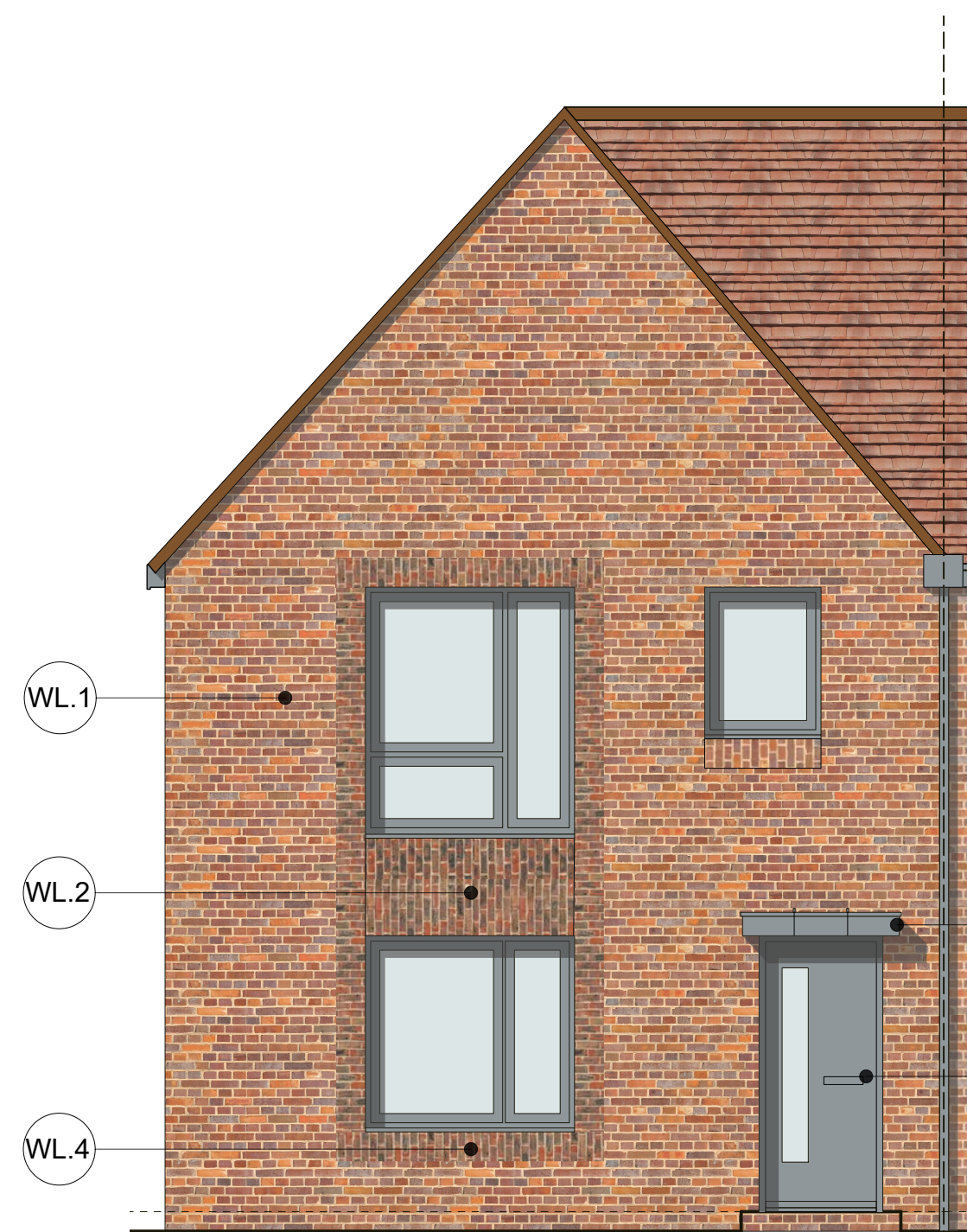
NDSS: 2.5m²

Provided: 2.7m²

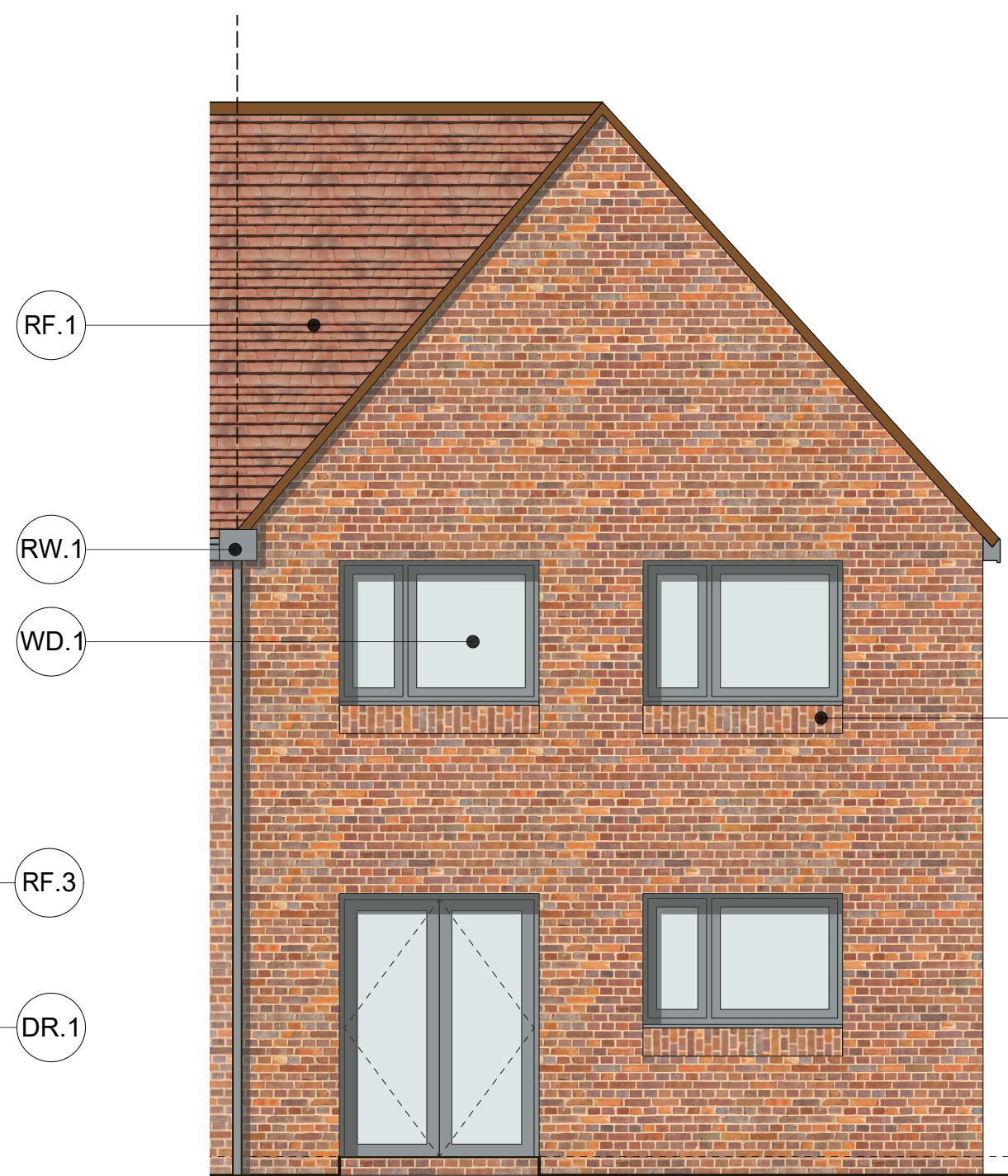


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Hillbourne Housing Scheme				P10			
Client				12/04/2021			
Poole Housing Partnership				12/04/21			
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Date				12/04/21			
Drawn				HA			
Checked				LB			
Status				PLANNING			

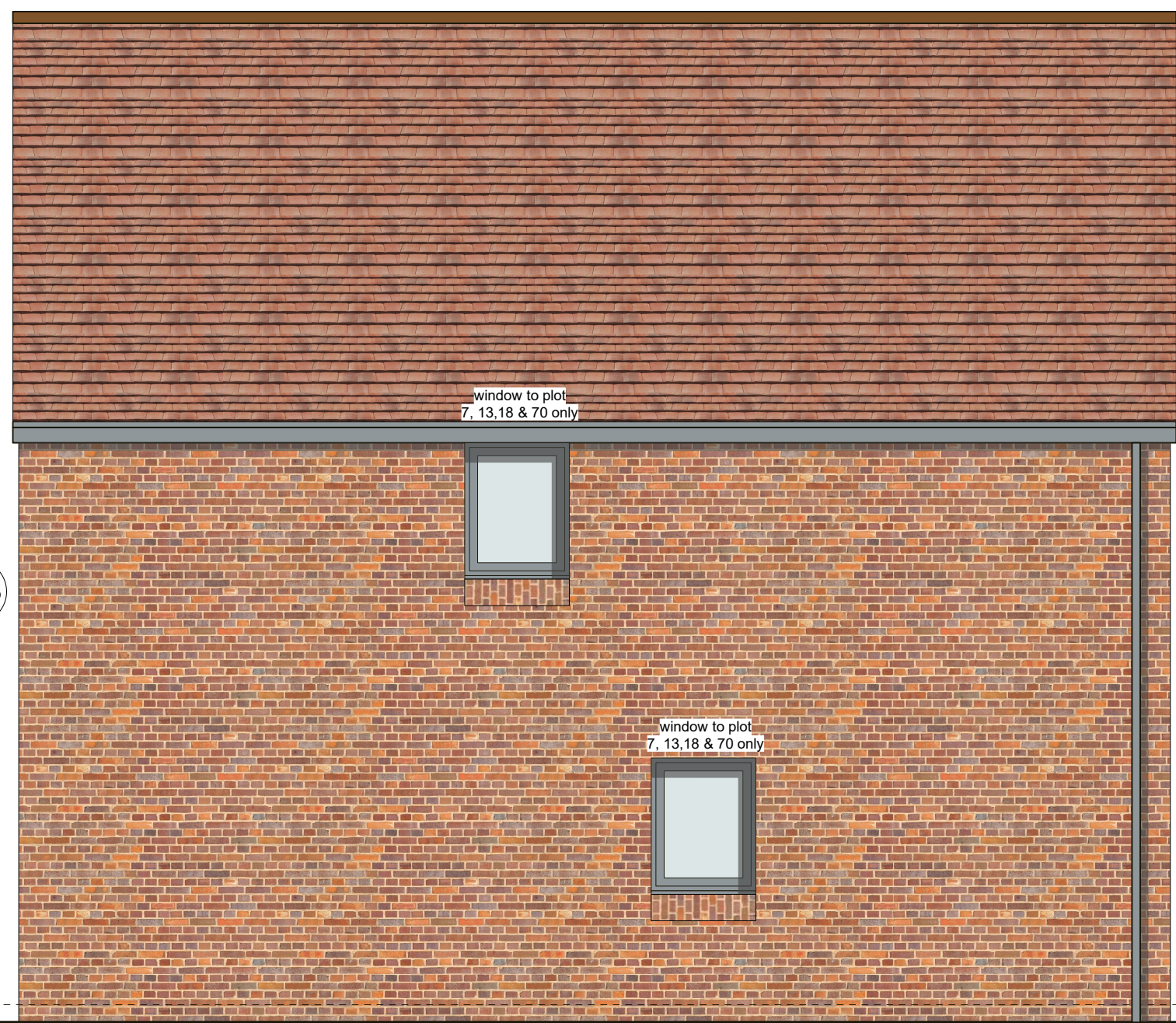
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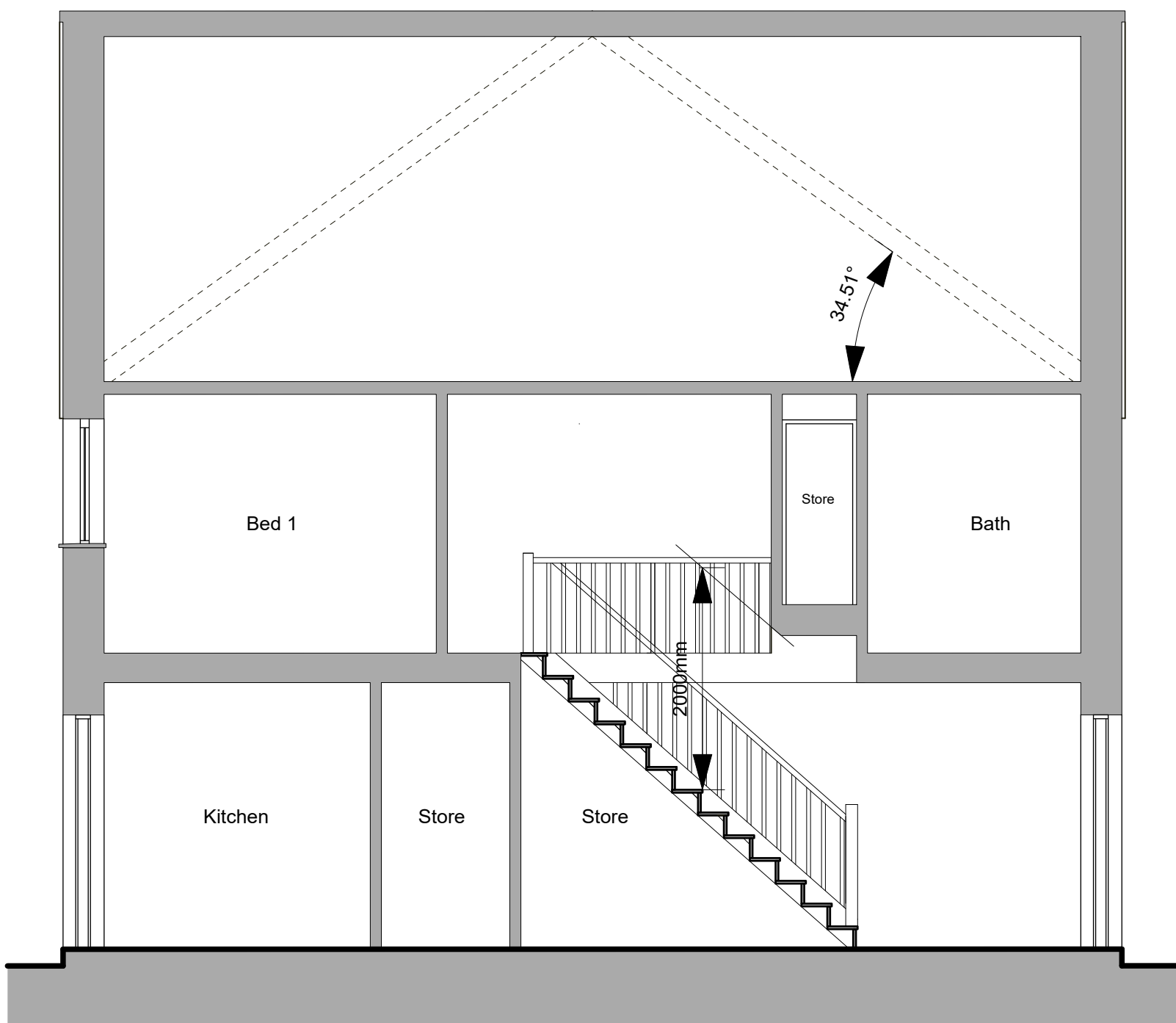
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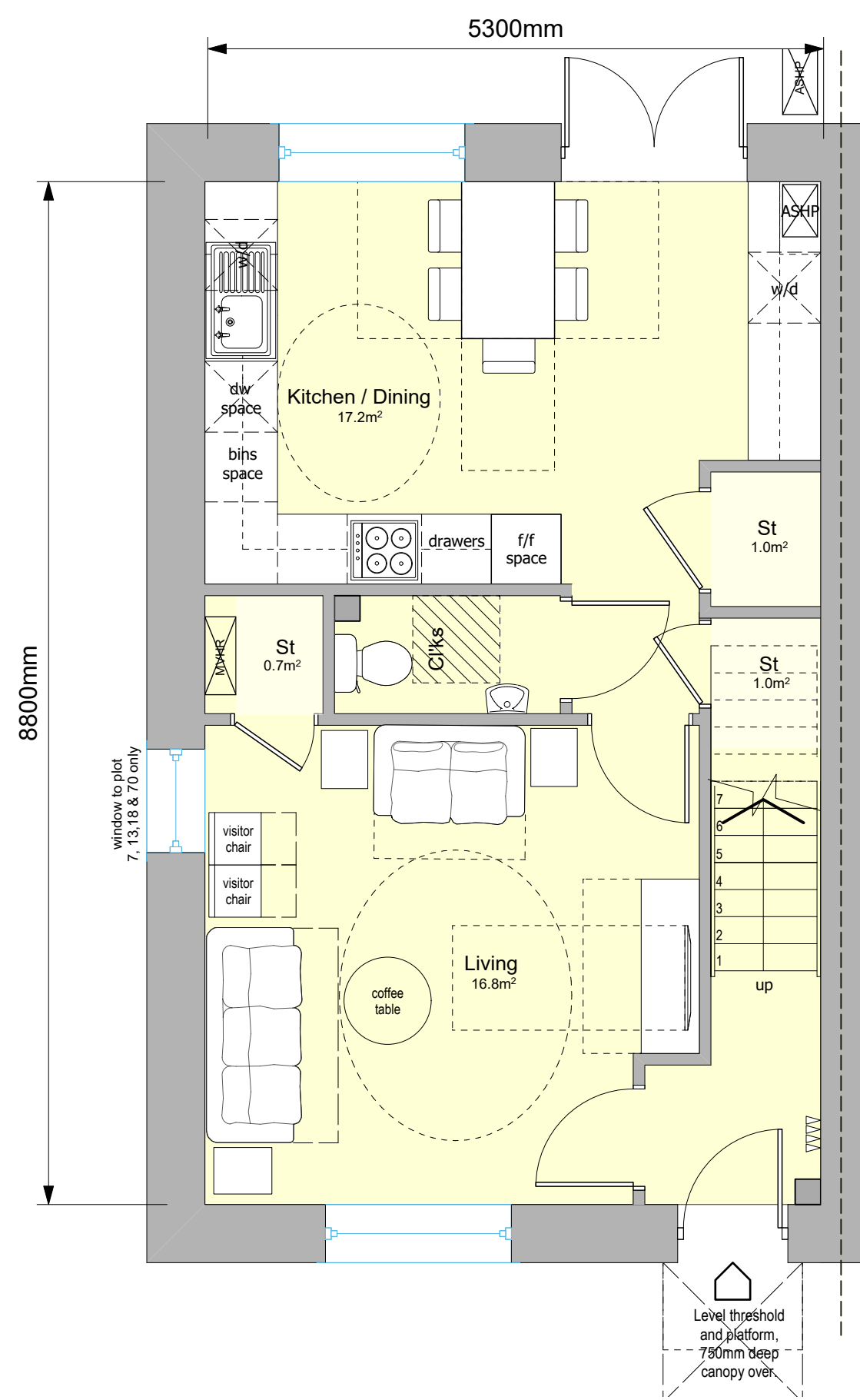
REAR ELEVATION



SIDE ELEVATION



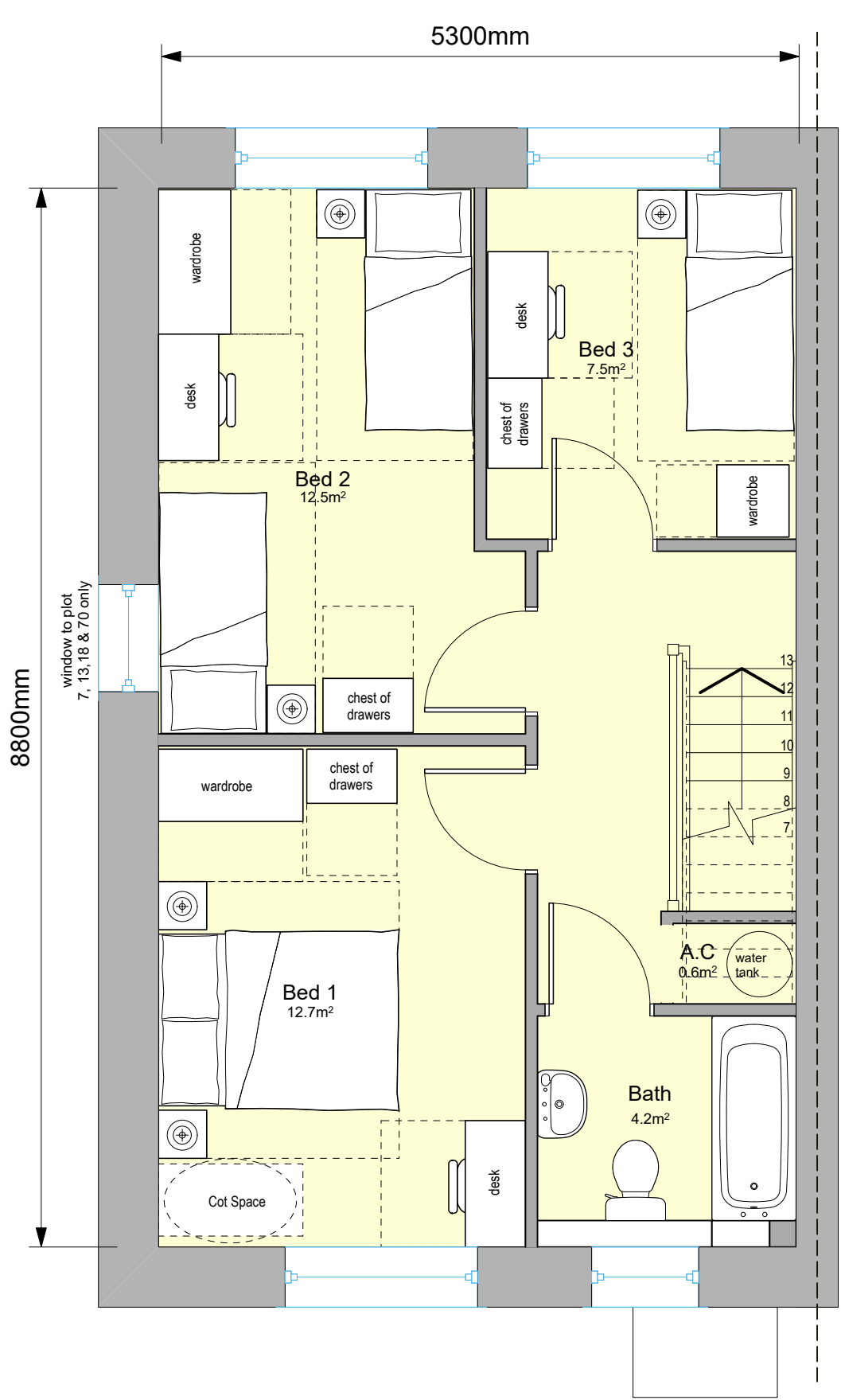
SECTION



GROUND FLOOR PLAN - TYPE D2

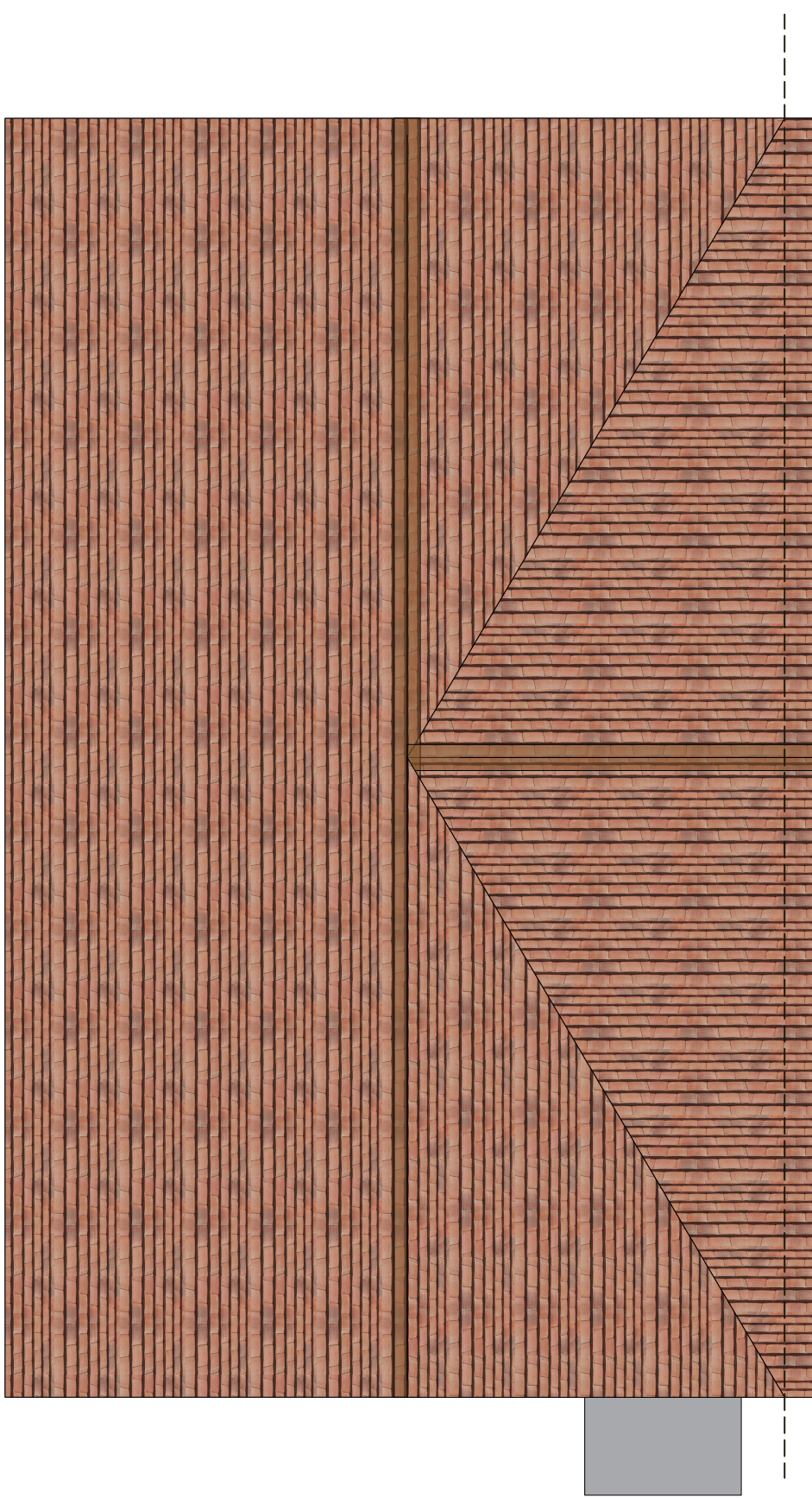
Gross internal area: 46.64m²

Total internal area: 93.28m²



FIRST FLOOR PLAN - TYPE D2

Gross internal area: 46.64m²



ROOF PLAN - TYPE D2

PLOTS : 7, 13, 18, 39, 50, 70, 75

MATERIALS KEY:

External Walls:

- WL.1 - Light red multi blend brick
- WL.2 - Dark red multi blend brick
- Vertical Course
- WL.3 - Light red multi blend brick
- Soldier Course
- WL.4 - Dark red multi blend brick
- Soldier Course

External Windows:

- WD.1 - Grey aluminium & timber composite

External Doors:

- DR.1 - Grey SBD compliant composite doors

Roof:

- RF.1 - Red tiles
- RF.2 - Grey tiles
- RF.3 - Grey GRP canopy

Rainwater goods:

- RW.1 - Grey PVCu



KEY PLAN
● Mirrored

STORAGE AREAS

NDSS: 2.5m²

Provided: 2.6m²

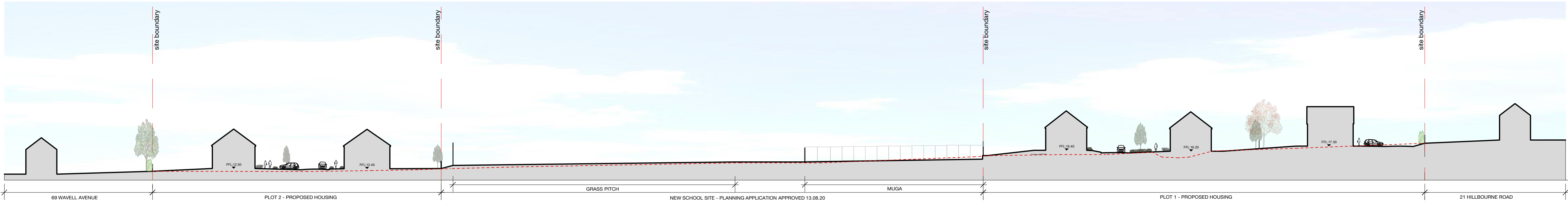


Project	Hillbourne Housing Scheme	Client	Poole Housing Partnership	Scale	1:50	Page Size	A1	Filename	190090 MASTER - 3B5P TYPE D.vvx	Date	12/04/21	Drawn	HA	Checked	LB	Status	PLANNING
Project Number	190090-1474	Project Number	190090-1474	Scale	1:50	Page Size	A1	Filename	190090 MASTER - 3B5P TYPE D.vvx	Date	12/04/21	Drawn	HA	Checked	LB	Status	PLANNING

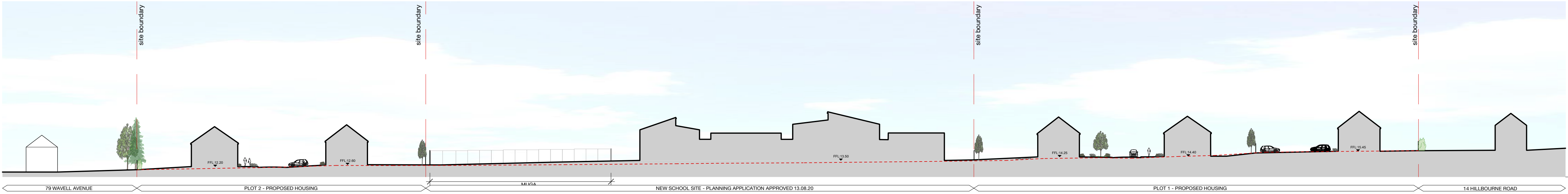
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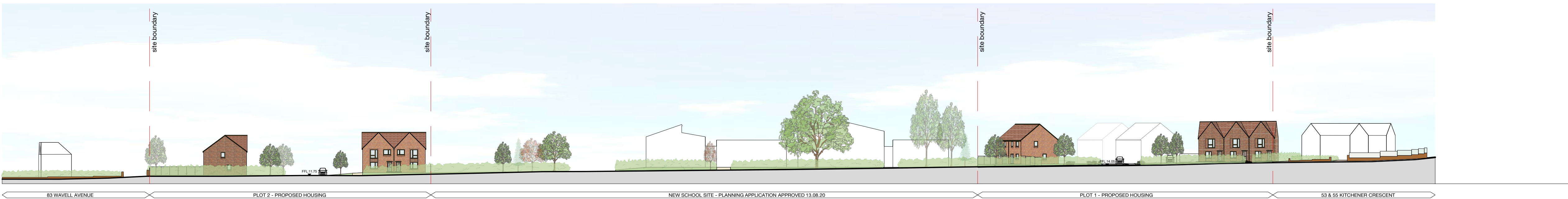
D-D STREET SCENE



C-C SITE SECTION

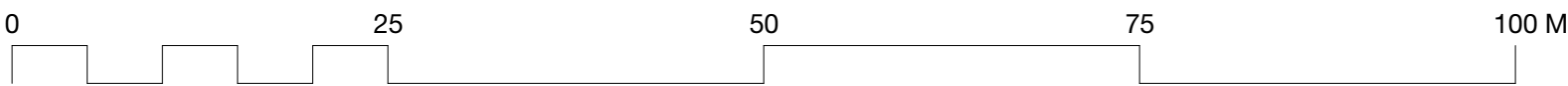


B-B SITE SECTION



A-A STREET SCENE - KITCENER CRESCENT

Key Plan



Chartered Architects
Chartered Building Surveyors
Interior Designers
CDM Services

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P01 12/04/2021 LB HR Planning Issue

Proposed Site Sections & Street Scenes

Project Number	Drawing Number	Revision
190090	1520	P01
Client	Drawn	Checked
Poole Housing Partnership	HR	LB
Date	Drawn	Checked
12/04/21	HR	LB
Purpose/Status	PLANNING	



G-G SITE SECTION

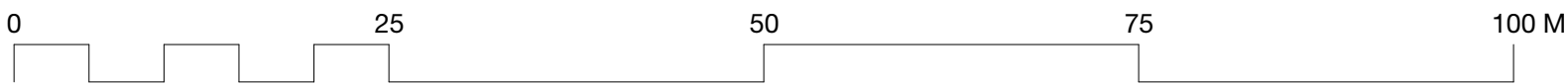
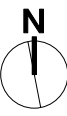
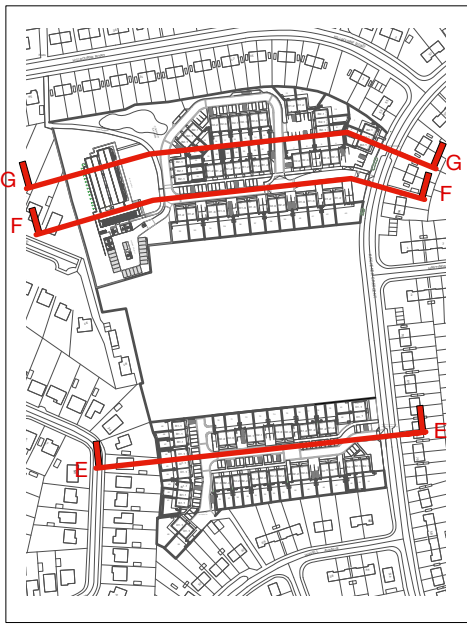


F STREET SCENE



E-E STREET SCENE

Key Plan



Chartered Architects
Chartered Building Surveyors
Interior Designers
CDM Services

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Project
Hillbourne Masterplan
Residential Development
Client
Poole Housing Partnership

P01 12/04/2021 LB HR Planning Issue
Rev Date By Ap Note

Drawing Title
Proposed Site Sections & Street Scenes

Project Number
190090

Drawing Number
1521

Date
12/04/21

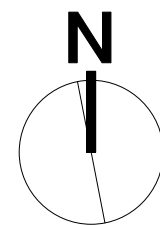
Drawn
HR

Checked
LB

Purpose/Status
PLANNING

Revision
P01

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HATCH KEY	
	Permeable Block Pavers
	Paving
	Tarmac
	Rubber Crumb
	Lawn
	Planting
	New Hedging
	Wildflower Meadow

SCALE BAR
It is the contractor's responsibility to check and confirm all measurements on site.
JPS Landscape Design accept no liability for any discrepancies between this drawing and actual site measurements.

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PLAN REFERENCES	
Landscape Plan LANDP001_rev07 to be read in conjunction with Plans:	
LANDP002_rev07 - Landscape Plan	
PP001_rev02 - Planting Plan	
PP002_rev02 - Planting Plan	
TP001_rev02 - Tree Plan	
TP002_rev02 - Tree Schedule & Planting Specification	
PLANTING SCHEDULE_rev01 - Planting Schedule	

BOUNDARY TREATMENT KEY	
A - B	New 1.8m high closeboard fencing
B - C	Pedestrian access
C - D	New 1.8m high closeboard fencing
D - E	1.5m high railings
E - F	Pedestrian access
F - G	1.5m high railings
G - H	Vehicular and pedestrian access with visibility splay
H - I	1.5m high railings
I - J	New 1.8m high closeboard fencing
J - K	New 1.8m high brick wall
K - A	New 1.8m high closeboard fencing

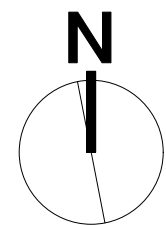
TREE RPA	
	Root Protection Area <small>The RPA shown is for illustrative purposes only and should be checked against that as provided by a qualified arboriculturalist</small>

TREE SYMBOL KEY	
	Existing Tree (ET)
	New Tree (NT)
	Remove Tree (RT)

PROTECTION OF TREES	
<p>1. The responsibility for the safety of trees always rests with the site owner or the person who has control of tree management. Where sites contain trees this JPS design does not include liaison with the appropriate local planning authority or any application for consent for works to protected trees or hedges. Consent for works to protected trees and hedges must be obtained from the local planning authority prior to any works being carried out on them.</p> <p>2. The trees and landscape features within or adjacent to the site may be protected by tree preservation orders, be within a conservation area, constitute an important hedgerow or be subject to planning conditions. The local planning authority must be consulted for details of any such planning restrictions and their advice followed before work is planned or carried out to trees.</p> <p>3. The legal Duty of Care requires that all works to trees should be carried out by qualified, arboricultural contractors working according to Health & Safety Executive guidelines. All tree works should be carried out to arboricultural industry best practice and comply with BS 3998:2010 'Tree work - Recommendations'. All tree management work must take account of the Wildlife and Countryside Act, 1981, as amended by the Countryside and Rights of Way Act, 2000, which makes it a criminal offence to disturb, injure or kill bats or nesting birds and other protected animals.</p> <p>4. Important hedgerows may be protected if they are in the countryside, are over 20m long and over 30 years old, provide habitats for protected species or have been designated as such by a local planning authority.</p> <p>5. Tree health and condition can change over time and be affected by the environment, therefore, regular periodic inspections are recommended and a qualified arboriculturalist consulted if any concerns are identified.</p> <p>© JPS 2019. All rights reserved.</p>	

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EMAIL: info@jpslandscapedesign.co.uk	WEBSITE: www.jpslandscapedesign.co.uk
Drawing Title: Landscape Plan	
CAD File Number: 856	Scale: 1:350 @ A1
Designer: DW	Drawing No: LANDP001
Design Date: 16.07.20	Revision No:
Revised by: DW	007
Revision Date: 22.12.21	

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HATCH KEY

Permeable Block Pavers

Paving

Tarmac

Rubber Crumb

Lawn

Planting

New Hedging

Wildflower Meadow

25 m**SCALE BAR**
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JPS Landscape Design accept no liability for any discrepancies between this drawing and actual site measurements.

PLAN REFERENCES

Landscape Plan LANDP002_rev07 to be read in conjunction with Plans:

LANDP001_rev07 - Landscape Plan

PP001_rev02 - Planting Plan

PP002_rev02 - Planting Plan

TP001_rev02 - Tree Plan

TP002_rev02 - Tree Schedule & Planting Specification

PLANTING SCHEDULE_rev01 - Planting Schedule

BOUNDARY TREATMENT KEY

L - M

New 1.8m high closeboard fencing

M - N

1.5m high railings and hedge

N - O

Pedestrian access

O - P

1.5m high railings and hedge

P - Q

Vehicular access with visibility splay

Q - R

1.5m high railings and hedge

R - S

Existing fence and hedge

S - T

Existing fence

T - U

Vehicular access to garages

U - V

Existing fence

V - L

Existing fence

TREE RPA

Root Protection Area

The RPA shown is for illustrative purposes only and should be checked against that as provided by a qualified arboriculturalist

TREE SYMBOL KEY

Existing Tree (ET)

New Tree (NT)

Remove Tree (RT)

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Drawing Title

Landscape Plan

CAD File Number

856

Scale

1:250 @ A1

Designer

DW

Drawing No.

LANDP002

Design Date

16.07.20

Revision No.

007

Revised by

DW

Revision Date

22.12.21